

Court File No.: 31-299040  
Estate File No.: 31-299040

**ONTARIO  
SUPERIOR COURT OF JUSTICE  
(IN BANKRUPTCY & INSOLVENCY)  
[COMMERCIAL LIST]**

**IN THE MATTER OF THE BANKRUPTCY OF  
BRAMALEA INC.  
OF THE CITY OF TORONTO IN THE PROVINCE OF ONTARIO**

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**MOTION RECORD OF ITALPASTA LIMITED  
(Returnable June 14, 2022 at 10:30am via “ZOOM”)**

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June 6, 2022

**LOOPSTRA NIXON LLP**  
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**TO: THE ATTACHED SERVICE LIST**

**SERVICE LIST**  
**(as at June 6, 2022)**

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*Proposal Trustee*

AND TO: **OFFICE OF THE SUPERINTENDENT OF BANKRUPTCY**  
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AND TO: **CANADIAN IMPERIAL BANK OF COMMERCE – MAIN BRANCH**  
Commerce Court West  
Toronto, ON M5L 1A2  
Attn: Vice-President & Manager

with a copy to:

Attn: Senior Vice-President – Corporate Banking Division, CIBC  
7<sup>th</sup> Floor Commerce Court West  
Toronto, ON M5L 1A2

## **Email Service List**

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**ONTARIO  
SUPERIOR COURT OF JUSTICE  
(IN BANKRUPTCY & INSOLVENCY)  
[COMMERCIAL LIST]**

**IN THE MATTER OF THE BANKRUPTCY OF  
BRAMALEA INC.  
OF THE CITY OF TORONTO IN THE PROVINCE OF ONTARIO**

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# TAB 1

Court File No. 31-299040  
Estate File No. 31-299040

**ONTARIO**  
**SUPERIOR COURT OF JUSTICE**  
**[IN BANKRUPTCY AND INSOLVENCY]**  
**(COMMERCIAL LIST)**

**IN THE MATTER OF THE BANKRUPTCY OF**  
**BRAMALEA INC.**  
**OF THE CITY OF TORONTO IN THE PROVINCE OF ONTARIO**

**NOTICE OF MOTION**  
**(returnable June 14, 2022 @ 10:30am via “Zoom”)**

Italpasta Limited (“**Italpasta**”), an interested person under s. 41(11) of the *Bankruptcy and Insolvency Act*, R.S.C. 1988 c. B-3 (the “**BIA**”), will make a motion to a Judge presiding over the Commercial List on June 14, 2022 at 10:30am, or as soon after that time as the motion can be heard, which motion shall be heard virtually by “Zoom” videoconference and may be attended online by accessing the direct videoconference link to be posted by the Court at the following URL: <https://ontariocourts.caselines.com/Case/Details?caseKey=8f765be200534e6fa6c60c3b1a2bef38>. A direct link will be circulated by email to those members of the Service List with known email addresses prior to the hearing.

**PROPOSED METHOD OF HEARING:** The motion is to be heard orally.

**THE MOTION IS FOR:**

1. an order, substantially in the form attached hereto as Schedule “A” (the “**Appointment & Sales Process Order**”), *inter alia*:
  - (a) abridging the time for service and filing of this notice of motion and the motion record or, in the alternative, dispensing with same;

- (b) appointing MNP Ltd., a licensed insolvency trustee, as the trustee of the bankruptcy estate (in such capacity, the “**Trustee**”) of Bramalea Inc. (the “**Bankrupt**”) pursuant to s. 41(11) of the BIA;
  - (c) approving the pre-appointment report to court filed by MNP Ltd. as proposed Trustee (the “**Pre-Appointment Report**”);
  - (d) approving the sales process for the “Remnant Lands” (*as defined below*), as set out in the Pre-Appointment Report (the “**Sales Process**”); and
  - (e) sealing the confidential appendices to the Pre-Appointment Report.
2. an order, substantially in the form attached hereto as Schedule “B” (the “**Approval & Vesting Order**”), *inter alia*:
- (a) approving the agreement of purchase and sale dated June 6, 2022 tendered by Joseph Vitale Management Limited, as purchaser, (the “**Purchaser**”) and authorizing the Trustee to execute the same and complete the transaction contemplated thereby (the “**Transaction**”), conditional on the outcome of the the Sales Process; and
  - (b) vesting in the Purchaser, on completion of the Transaction, all of the Bankrupt’s right, title and interest in and to the Remnant Lands; and
3. such further and other relief as counsel may advise and this Honourable Court may permit.

**THE GROUNDS FOR THE MOTION ARE:**

*Background re: Bramalea Inc.*

- (a) Bramalea Inc. is an Ontario company and an undischarged bankrupt which, prior to its bankruptcy, carried on business as a development company in Ontario;

- (b) Bramalea Inc. (the “**Bankrupt**”) became bankrupt on April 26, 1995 and Ernst & Young Inc. was appointed as trustee of the Bankrupt’s estate;
- (c) the administrative records of this estate are confirmed destroyed by the Office of the Superintendent of Bankruptcy, however the record of the filing indicated that the Bankrupt had no assets as at the date of bankruptcy;
- (d) Ernst & Young Inc. concluded its administration and was discharged as trustee on September 15, 1997;

#### *The Remnant Lands*

- (e) inexplicably, more than 20 years later, the Bankrupt continues to hold title to two (2) parcels of land in Brampton (the “**Remnant Lands**”), which appear to have been forgotten in the bankruptcy administration or disclaimed or abandoned, which parcels are the subject of this motion;
- (f) the Remnant Lands are the remnants of a municipal road extension – they used to form part of traffic turning circle of a dead-end street that was “squared off” when the road was extended;
- (g) the Remnant Lands are not independently serviced lots and should have been transferred along with the adjoining lands; and, in fact, the City of Brampton (the “**City**”) has treated them as such as part of a site plan approval in 1995;
- (h) the Remnant Lands are two insignificant plots of land, wedged between the road and two adjoining properties, owned by related parties;
- (i) the Remnant Lands are of no practical utility to any person, other than the owner of the adjacent lands;

#### *Italpasta’s Interest*

- (j) Italpasta is an Ontario company, located in Brampton, which is in the business of, *inter alia*, the manufacture, packaging and distribution of food products;

- (k) Italpasta operates out of a large manufacturing facility at 116 Nuggett Court in Brampton (the “**Facility #1**”), which property is owned by the Purchaser, a holding company related to Italpasta;
- (l) adjacent to the Facility is another large industrial property (“**Facility #2**”; and, with the Facility 1, the “**Italpasta Properties**”), which property is owned by a second, related holding company – 1960526 Ontario Inc. (with Italpasta and Joseph Vitale Management Limited, the “**Italpasta Group**”);
- (m) Facility #1 and Facility #2 are connected by an industrial conveyor system and are both used in the manufacturing operations of Italpasta;
- (n) the Remnant Lands are wedged between the Facility #1 and Facility #2 and the road;
- (o) the Italpasta Group is the process of developing the Italpasta Properties by adding to the physical connections between the facilities;
- (p) in connection with this development, the Italpasta Group was required to submit a development plan;
- (q) the existence of the Remnant Lands is a bar to proceeding with the development plan;
- (r) there is approved site plan from 1995 that wrongly treats the Remnant Lands as part of Facility #1;
- (s) the City has been treating – and taxing – the Remnant Lands as part of the Italpasta Properties for years;
- (t) the City has requested that this issue be corrected in connection with the development and that Italpasta Group should seek to acquire the Remnant Lands;

- (u) if the Remnant Lands are acquired by the Italpasta Group, the development can continue as currently constituted and, if not, it will need to be revised – regardless, this issue needs to be addressed;

*Re-Appointment of Trustee and Proposed Sale*

- (v) upon learning of this issue, Italpasta consulted with the city, counsel and MNP Ltd. and determined that the re-appointment of a trustee in this estate and a sale would be the most efficient way to address this issue;
- (w) Italpasta is funding the Trustee’s fees, by way of third-party deposit agreement;
- (x) the Purchaser has tendered a binding offer to acquire the Remnant Lands for \$45,000, on an “as is, where is” basis;
- (y) the Transaction contemplated by the Purchase Agreement provides for a fair price, an immediate closing, and is conditional on Court Approval and the outcome of the Sales Process – which will test the market;
- (z) the Sales Process provides:
  - (i) the Trustee will approach the neighbouring landowners to provide them with thirty (30) business days to submit a binding “**Qualifying Offer**” – being a binding offer on the same terms as the Purchase Agreement, but (x) for a purchase price not less than 10% higher than the Purchaser’s offer; (y) with a 50% non-refundable deposit; and, (z) an additional amount of \$20,000 to cover the costs a further application to Court;
  - (ii) if a Qualifying Offer is received, the Trustee will hold a live auction between the Purchaser and any party submitting a Qualifying Offer to obtain the best price for the Remnant Lands;



- (iii) if are no Qualifying Offers are received or the Purchaser is the successful bidder at the auction, the Transaction shall be completed pursuant to Approval & Vesting Order;
- (iv) if another party is the successful bidder at the auction, the Trustee will reapply to court for approval of such party's offer;

#### *Approval of the Report*

- (aa) the Trustee has undertaken those activities which are further detailed in the Pre-Appointment Report;
- (bb) the Pre-Appointment Report fairly and accurately reflects the circumstances of the leading up to re-appointment of the Trustee, the activities performed by the Trustee prior appointment, including crafting the Sales Process and the Purchase Agreement;

#### *Sealing of Confidential Appendices*

- (cc) the Confidential Appendices contain sensitive commercial information which, if disclosed prior to the completion of the Sales Process and Transaction, could impair the Trustee's ability to realize on the Remnant Lands for the benefit of the creditors; and, as such, the Trustee submits that such information should be sealed pending closing of the Transaction or any alternate transaction in the event one arises out of the Sales Process;

#### *Other Grounds*

- (dd) the Trustee recommends the approval of the Transaction and the Sales Process
- (ee) the other grounds set out in the affidavit of Joseph Vitale, sworn June 6, 2022 (the "**Vitale Affidavit**") and the Pre-Appointment Report;
- (ff) the Consolidated Practice Direction Concerning the Commercial List and the inherent equitable jurisdiction of the Court;

- (gg) sections 30, 34, and 41 of the BIA;
- (hh) Section 100 of the *Courts of Justice Act*, R.S.O. 1990, c. C-43;
- (ii) rules 1.04, 2.03, 3.02 and 37 of the *Rules of Civil Procedure*, R.R.O. 1990, Reg. 194, as amended; and
- (jj) such further and other grounds as counsel may advise and this Court may permit.

**THE FOLLOWING DOCUMENTARY EVIDENCE** will be used at the hearing of the motion:

1. the Vitale Affidavit of and the exhibits thereto;
2. the Pre-Appointment Report and the appendices thereto, including the Confidential Appendices; and
3. such further and other material as counsel may advise and this Court may permit.

Date: June 6, 2022

**LOOPSTRA NIXON LLP**  
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*Lawyers for Italpasta Limited, 1960526  
Ontario Inc. and Joseph Vitale  
Management Limited*

**TO: ATTACHED SERVICE LIST**

**SERVICE LIST**

AND TO: **MNP LTD.**  
111 Richmond Street West, Suite 300  
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**Sheldon Title**  
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Email: [sheldon.title@mdp.ca](mailto:sheldon.title@mdp.ca)

*Proposed Trustee*

AND TO: **OFFICE OF THE SUPERINTENDENT OF BANKRUPTCY**  
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FAX: (416) 973-7440  
EMAIL: [OSB-REGISTRY-REGISTRE-BSF-OSB-BSF@IC.GC.CA](mailto:OSB-REGISTRY-REGISTRE-BSF-OSB-BSF@IC.GC.CA)

AND TO: **Canadian Imperial Bank of Commerce – Main Branch**  
Commerce Court West  
Toronto, ON M5L 1A2  
Attn: Vice-President & Manager

with a copy to:

Attn: Senior Vice-President – Corporate Banking Division, CIBC  
7th Floor Commerce Court West  
Toronto, ON M5L 1A2

**TAB A**

**SCHEDULE “A”**

*DRAFT ORDER*

*APPOINTMENT & SALES PROCESS ORDER*

*[see attached]*

Court File No. 31-299040  
Estate File No. 31-299040

**ONTARIO**  
**SUPERIOR COURT OF JUSTICE**  
**[IN BANKRUPTCY AND INSOLVENCY]**  
**(COMMERCIAL LIST)**

THE HONOURABLE	)	TUESDAY, THE 14 <sup>TH</sup> DAY
	)	
JUSTICE <*>	)	OF JUNE, 2022

**IN THE MATTER OF THE BANKRUPTCY OF**  
**BRAMALEA INC.**  
**OF THE CITY OF TORONTO IN THE PROVINCE OF ONTARIO**

**ORDER**  
**(Appointment of Trustee, Sales Process, and General Relief)**

**THIS MOTION**, made by Italpasta Limited (“**Italpasta**”), an interested person under s. 41(11) of the *Bankruptcy and Insolvency Act*, R.S.C. 1988 c. B-3 (the “**BIA**”), for an order, *inter alia*, (i) appointing MNP Ltd. as trustee (the “**Trustee**”) of the bankruptcy estate of Bramalea Inc., an undischarged bankrupt (the “**Bankrupt**”); and (ii) approving a sales process in respect of two parcels of remnant lands held by the Bankrupt an identified a PIN #14025-0180 (LT) and PIN #14025-0181 (LT) (collectively, the “**Remnant Lands**”), was heard this day at 330 University Avenue, Toronto, Ontario.

**SERVICE**

1. **THIS COURT ORDERS** that the time for service and filing of the Notice of Motion and the Motion Record is hereby abridged and validated so that this motion is properly returnable today and hereby dispenses with further service thereof.

## **APPOINTMENT OF TRUSTEE**

2. **THIS COURT ORDERS** that pursuant to section 41(11) of the BIA, MNP Ltd. is hereby appointed as Trustee of the bankruptcy estate of the Bankrupt.

## **APPROVAL OF PRE-APPOINTMENT REPORT**

3. **THIS COURT ORDERS** that the Pre-Appointment Report of the Trustee, dated <\*> (the “**Pre-Appointment Report**”) and the activities of the Trustee described therein be and are hereby approved.

## **APPROVAL OF SALES PROCESS**

4. **THIS COURT ORDERS** that the Trustee be and is authorized to implement the Sales Process, as defined in the Pre-Appointment Report, in respect of the Remnant Lands, including but not limited to:

- (a) executing the purchase agreement dated June 6, 2022 with Joseph Vitale Management Limited (“**JVML**”), an adjacent landowner, for the sale of the Remnant Lands on an “as is, where is” basis;
- (b) contacting the neighbouring landowners to provide them with period of thirty days to submit a Qualifying Offer (*as defined in the Pre-Appointment Report*);
- (c) if applicable, conducting an auction among JVML and all persons submitting Qualifying Offers; and

- (d) selecting the highest and best offer and completing a transaction with such offeror (including returning to Court for approval if the highest and best offer is not from JVML).

5. **THIS COURT ORDERS** that the Trustee, be and are hereby authorized and empowered to take such steps as are necessary or desirable to carry out and perform its obligations under and to facilitate the Sale Process, provided that any definitive agreement to be executed by the Trustee that requires an approval and vesting order in respect to the Remnant Lands (other than with JVML) shall require approval of the Court.

6. **THIS COURT ORDERS** that the Trustee continues to be and is hereby authorized to take all steps required to fulfill its duties under the BIA, including, without limitation, to:

- (a) reporting to the Court at such times and intervals as the Trustee may deem appropriate with respect to matters relating to the Sale Process, the Bankrupt's property, the administration of the estate and such other matters as may be relevant to the proceedings herein; and
- (b) perform such other duties as are deemed appropriate or necessary by the Trustee or are otherwise required by the BIA, this Order or by the Court from time to time.

7. **THIS COURT ORDERS** that in addition to the rights and protections afforded to the Trustee under the BIA or as an officer of the Court, the Trustee shall incur no personal or corporate liability as a result of its appointment or the carrying out of the provisions of this Order, including but not limited to the implementation of the Sales Process, save and except for any gross



negligence or wilful misconduct on its part. Nothing in this Order shall derogate from the protections afforded to the Trustee under the BIA or any applicable legislation.

### **SEALING OF CONFIDENTIAL MATERIALS**

8. **THIS COURT ORDERS** that the Confidential Appendices (*as identified and defined in the Pre-Appointment Report*) are sealed until the Sale Process is completed and the transaction contemplated thereby is closed, or further Order of the Court.

### **SERVICE & NOTICE**

9. **THIS COURT ORDERS** that the E-Service Protocol of the Commercial List (the “**Protocol**”) is approved and adopted by reference herein and, in this proceeding, the service of documents made in accordance with the Protocol (which can be found on the Commercial List website at <http://www.ontariocourts.ca/scj/practice/practice-directions/toronto/eservice-commercial/>) shall be valid and effective service. Subject to Rule 17.05, this Order shall constitute an order for substituted service pursuant to Rule 16.04 of the Rules of Civil Procedure. Subject to Rule 3.01(d) of the Rules of Civil Procedure and paragraph 21 of the Protocol, service of documents in accordance with the Protocol will be effective on transmission.

10. **THIS COURT ORDERS** that if the service or distribution of documents in accordance with the Protocol is not practicable, the Trustee are at liberty to serve or distribute this Order, any other materials and orders in these proceedings, any notices or other correspondence, by forwarding true copies thereof by prepaid ordinary mail, courier, personal delivery or facsimile transmission to the creditors or other interested parties at their respective addresses as last shown on the records of the Bankrupt and that any such service or distribution by courier, personal

delivery or facsimile transmission shall be deemed to be received on the next business day following the date of forwarding thereof, or if sent by ordinary mail, on the third business day after mailing.

11. **THIS COURT ORDERS** that the Trustee and its counsel are at liberty to serve or distribute this Order, any other materials and orders as may be reasonably required in these proceedings, including any notices, or other correspondence, by forwarding true copies thereof by electronic message to the creditors or other interested parties and their advisors. For greater certainty, any such distribution or service shall be deemed to be in satisfaction of a legal or juridical obligation, and notice requirements within the meaning of clause 3(c) of the *Electronic Commerce Protection Regulations*, Reg. 81000-2-175 (SOR/DORS).

#### **GENERAL**

12. **THIS COURT ORDERS** that the Trustee may from time to time apply to this Court for advice and directions in respect of the implementation of the Sale Process or the discharge of such party's respective powers and duties hereunder.

13. **THIS COURT HEREBY REQUESTS** the aid and recognition of any court, tribunal, regulatory or administrative body having jurisdiction in Canada or the United States, to give effect to this Order and to assist the Trustee and its agents in carrying out the terms of this Order. All courts, tribunals, regulatory and administrative bodies are hereby respectfully requested to make such orders and to provide such assistance to the Trustee, as an officer of this Court, as may be necessary or desirable to give effect to this Order, to grant representative status to the Trustee in any foreign proceeding or to assist the Trustee and its agents in carrying out the terms of this Order.

14. **THIS COURT ORDERS** that the Trustee be at liberty and is hereby authorized and empowered to apply to any court, tribunal, regulatory or administrative body, wherever located, for the recognition of this Order and for assistance in carrying out the terms of this Order, and that the Trustee is authorized and empowered to act as a representative in respect of the within proceedings for the purpose of having these proceedings recognized in a jurisdiction outside Canada.

15. **THIS COURT ORDERS** that any interested party (including the Bankrupt and the Trustee) may apply to this Court to vary or amend this Order on not less than seven (7) days' notice to any other party or parties likely to be affected by the order sought or upon such other notice, if any, as this Court may order.

16. **THIS COURT ORDERS** that this Order is effective from today's date and is enforceable without the need for entry and filing.

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**IN THE MATTER OF THE BANKRUPTCY OF BRAMALEA INC. OF THE CITY OF  
TORONTO IN THE PROVINCE OF ONTARIO**

Court File No. 31-299040  
Estate File No. 31-299040

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**ONTARIO  
SUPERIOR COURT OF JUSTICE  
[IN BANKRUPTCY & INSOLVENCY]  
(COMMERCIAL LIST)**

**Proceedings commenced at Toronto**

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**ORDER  
(Appointment of Trustee, Sales Process, and  
General Relief)**

---

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*Lawyers for Italtasta Limited, 1960526 Ontario  
Inc. and Joseph Vitale Management Limited*

**TAB B**

**SCHEDULE “B”**

*DRAFT ORDER*

*APPROVAL & VESTING ORDER*

*[see attached]*

Court File No. 31-299040  
Estate File No. 31-299040

**ONTARIO  
SUPERIOR COURT OF JUSTICE  
[IN BANKRUPTCY AND INSOLVENCY]  
COMMERCIAL LIST**

THE HONOURABLE	)	TUESDAY, THE 14 <sup>th</sup>
	)	
JUSTICE <span style="background-color: cyan; color: black;">&lt;*&gt;</span>	)	DAY OF JUNE, 2022

**IN THE MATTER OF THE BANKRUPTCY OF  
BRAMALEA INC.  
OF THE CITY OF TORONTO IN THE PROVINCE OF ONTARIO**

**APPROVAL AND VESTING ORDER**

**THIS MOTION**, made by Italpasta Limited (“**Italpasta**” or the “**Applicant**”), an interested person under s. 41(11) of the *Bankruptcy and Insolvency Act*, R.S.C. 1988 c. B-3 (the “**BIA**”), for an order approving the sale transaction (the “**Transaction**”) contemplated by an agreement of purchase and sale (the “**Sale Agreement**”) between MNP Ltd., a licensed insolvency trustee, as the trustee of the bankruptcy estate (in such capacity, the “**Trustee**”) of Bramalea Inc. (the “**Bankrupt**”), and Joseph Vitale Management Limited, as purchaser, (the “**Purchaser**”), date June 6, 2022 appended to the Pre-Appointment Report of the Trustee dated June <\*>, 2022 (the “**Report**”), and vesting in the Purchaser all of the Trustee’s and Bankrupt’s right, title and interest in and to the real property described in the Sale Agreement and registered in Land Titles under PIN #14025-0180 and PIN #14025-0181 (collectively, the “**Lands**”), was heard this day at 330 University Avenue, Toronto, Ontario.

**ON READING** the Report and the appendices and confidential appendices thereto, and the affidavit of Joseph Vitale dated June 6, 2022 and the exhibits thereto (the “**Vitale Affidavit**”), and on hearing the submissions of counsel for the Applicant, no one appearing for

any other person on the service list, although properly served as appears from the affidavit of Amanda Adamo sworn June <\*>, 2022 filed:

1. **THIS COURT ORDERS** that the time for service and filing of the Report, the Vitale Affidavit and the motion record in respect of this motion is hereby abridged and validated so that this motion is properly returnable today and dispenses with further service thereof.
2. **THIS COURT ORDERS AND DECLARES** that the approval of Transaction and vesting of the Lands in the Purchaser contemplated hereby is conditional on (a) there being no other offers received through the sales process to be administered by the Trustee and approved in these proceedings by separate order of the Court dated June 14, 2022 or (b) the Purchaser being the successful offeror in such sales process.
3. **THIS COURT ORDERS AND DECLARES** that the Transaction is hereby approved, and the execution of the Sale Agreement by the Trustee is hereby authorized and approved, with such minor amendments as the Trustee may deem necessary. The Trustee is hereby authorized and directed to take such additional steps and execute such additional documents as may be necessary or desirable for the completion of the Transaction and for the conveyance of the Lands to the Purchaser.
4. **THIS COURT ORDERS AND DECLARES** that upon the delivery of a Trustee's certificate to the Purchaser substantially in the form attached as Schedule A hereto (the "**Trustee's Certificate**"), all of the Bankrupt's right, title and interest in and to the Lands described in the Sale Agreement and listed on Schedule B hereto shall vest absolutely in the Purchaser, free and clear of and from any and all security interests (whether contractual, statutory, or otherwise), hypothecs, mortgages, trusts or deemed trusts (whether contractual, statutory, or otherwise), liens, executions, levies, charges, or other financial or monetary claims, whether or not they have attached or been perfected, registered or filed and whether secured, unsecured or otherwise (collectively, the "**Claims**") including, without limiting the generality of the foregoing: (i) any encumbrances or charges created by this Honourable Court; (ii) all charges, security interests or claims evidenced by registrations pursuant to the *Personal Property Security Act* (Ontario) or any other personal property registry system; and (iii) those Claims listed on Schedule C hereto (all of which are collectively referred to as the "**Encumbrances**", which term shall not include the permitted encumbrances, easements and restrictive covenants



listed on Schedule D) and, for greater certainty, this Court orders that all of the Encumbrances affecting or relating to the Lands are hereby expunged and discharged as against the Lands.

5. **THIS COURT ORDERS** that upon the registration in the Land Registry Office for the appropriate Land Titles Division of an Application for Vesting Order in the form prescribed by the *Land Titles Act* and/or the *Land Registration Reform Act*, the Land Registrar is hereby directed to enter the Purchaser as the owner of the subject real property identified in Schedule B hereto (the “**Real Property**”) in fee simple, and is hereby directed to delete and expunge from title to the Real Property all of the Claims listed in Schedule C hereto.

6. **THIS COURT ORDERS** that for the purposes of determining the nature and priority of Claims, the net proceeds from the sale of the Lands shall stand in the place and stead of the Lands, and that from and after the delivery of the Trustee’s Certificate all Claims and Encumbrances shall attach to the net proceeds from the sale of the Lands with the same priority as they had with respect to the Lands immediately prior to the sale, as if the Lands had not been sold and remained in the possession or control of the person having that possession or control immediately prior to the sale.

7. **THIS COURT ORDERS AND DIRECTS** the Trustee to file with the Court a copy of the Trustee’s Certificate, forthwith after delivery thereof.

8. **THIS COURT ORDERS** that, notwithstanding:

- (a) the pendency of these proceedings;
- (b) any claims against the Bankrupt and any order issued pursuant to any such bankruptcy applications; and
- (c) any further orders made in respect of the Bankrupt;

shall not be void or voidable by creditors of the Bankrupt, nor shall it constitute nor be deemed to be a fraudulent preference, assignment, fraudulent conveyance, transfer at undervalue, or other reviewable transaction under the *Bankruptcy and Insolvency Act* (Canada) or any other

applicable federal or provincial legislation, nor shall it constitute oppressive or unfairly prejudicial conduct pursuant to any applicable federal or provincial legislation.

9. **THIS COURT HEREBY REQUESTS** the aid and recognition of any court, tribunal, regulatory or administrative body having jurisdiction in Canada or in the United States to give effect to this Order and to assist the Trustee and its agents in carrying out the terms of this Order. All courts, tribunals, regulatory and administrative bodies are hereby respectfully requested to make such orders and to provide such assistance to the Trustee, as an officer of this Court, as may be necessary or desirable to give effect to this Order or to assist the Trustee and its agents in carrying out the terms of this Order.

10. **THIS COURT ORDERS** that this order is effective from today's date and is enforceable without the need for entry and filing.

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**Schedule A – Form of Trustee’s Certificate**

Court File No. \_\_\_\_\_

**ONTARIO  
SUPERIOR COURT OF JUSTICE  
[IN BANKRUPTCY AND INSOLVENCY]  
COMMERCIAL LIST**

**IN THE MATTER OF THE BANKRUPTCY OF  
BRAMALEA INC.  
OF THE CITY OF TORONTO IN THE PROVINCE OF ONTARIO**

**TUSTEE’S CERTIFICATE**

**RECITALS**

A. Pursuant to an Order of the Honourable <\*> of the Ontario Superior Court of Justice (the "**Court**") dated June 14, 2022, MNP Ltd. was appointed as the trustee (the "**Trustee**") of the undertaking, property and assets of Bramalea Inc. (the "**Bankrupt**").

B. Pursuant to an Order of the Court dated June 14, 2022, the Court approved the agreement of purchase and sale made as of June 6, 2022 (the "**Sale Agreement**") between the Trustee and Joseph Vitale Management Limited (the "**Purchaser**") and provided for the vesting in the Purchaser of all of the Trustee’s and the Bankrupt’s right, title and interest in and to the Lands (*as defined in the Sale Agreement*), which vesting is to be effective with respect to the Lands upon the delivery by the Trustee to the Purchaser of a certificate confirming (i) the payment by the Purchaser of the Purchase Price for the Lands; (ii) that the conditions to Closing as set out in the Sale Agreement have been satisfied or waived by the Trustee and the Purchaser; and (iii) the Transaction has been completed to the satisfaction of the Trustee.

C. Unless otherwise indicated herein, terms with initial capitals have the meanings set out in the Sale Agreement.

THE TRUSTEE CERTIFIES the following:

1. the Purchaser has paid and the Trustee has received the Purchase Price for the Lands payable on the Closing Date pursuant to the Sale Agreement;
2. the conditions to Closing as set out in the Sale Agreement have been satisfied or waived by the Trustee and the Purchaser; and
3. the Transaction has been completed to the satisfaction of the Trustee.
4. This Certificate was delivered by the Trustee at \_\_\_\_\_ [TIME] on \_\_\_\_\_ [DATE].

**MNP Ltd., solely in its capacity as Trustee  
of the undertaking, property and assets of  
Bramalea Inc., and not in its personal  
capacity**

Per: \_\_\_\_\_

Name:

Title:

**Schedule B – Lands**1. **PIN 14025-0180**

PT BLK S PL 977 CHINGUACOUSY PT 4, 43R15748; BRAMPTON

2. **PIN 14025-0181**

PT NUGGETT CT CHINGUACOUSY CLOSED BY RO855059 BEING PT BLK S, PL 977, PT 3,  
43R15748 ; S/T RO822095 BRAMPTON

**Schedule C – Claims to be deleted and expunged from title to Real Property**

**Claims to be Deleted and Expunged from PIN 14025-0180 (LT)**

<b>Reg. No.</b>	<b>Date</b>	<b>Instrument Type</b>	<b>Amount</b>	<b>Parties From</b>	<b>Parties To</b>
RO600464	1982/01/21	Debenture	\$500,000,000	n/a	Canadian Imperial Bank of Commerce

**Claims to be Deleted and Expunged from PIN 14025-0181 (LT)**

<b>Reg. No.</b>	<b>Date</b>	<b>Instrument Type</b>	<b>Amount</b>	<b>Parties From</b>	<b>Parties To</b>
RO855313	1988/07/21	Transfer	\$2		Bramalea Limited
RO1087438	1995/03/28	Lien	n/a	n/a	n/a

**Schedule D – Permitted Encumbrances, Easements and Restrictive Covenants  
related to the Real Property**

**(unaffected by the Vesting Order)**

**SPECIFIC PERMITTED ENCUMBRANCES / REGISTRATIONS**

**Re: PIN 14025-0180 (LT)**

<b>Reg. No.</b>	<b>Date</b>	<b>Instrument Type</b>	<b>Amount</b>	<b>Parties From</b>	<b>Parties To</b>
PL977	1973/03/30	Plan Subdivision			
VS264566	1973/06/06	Bylaw Ex Part Lot			
43R14908	1987/09/03	Plan Reference			
43R15748	1988/06/03	Plan Reference			
LT2057426	2000/03/07	Notice		Her Majesty the Queen in the Right of the Department of Transport Canada	
PR860650	2005/06/01	Bylaw		The Corporation of the City of Brampton	

**(continued on next page)**

**Re: PIN 14025-0181 (LT)**

<b>Reg. No.</b>	<b>Date</b>	<b>Instrument Type</b>	<b>Amount</b>	<b>Parties From</b>	<b>Parties To</b>
VS260858	1973/06/06	Bylaw Ex Part Lot			
43R14722	1987/07/02	Plan Reference			
43R14908	1987/09/03	Plan Reference			
43R14991	1987/08/28	Plan Reference			
RO822095	1987/10/23	Transfer Easement			The Corporation of the City of Brampton
43R15748	1988/06/03	Plan Reference			
LT2057426	2000/03/07	Notice		Her Majesty the Queen in the Right of the Department of Transport Canada	
PR860650	2005/06/01	Bylaw		The Corporation of the City of Brampton	

**GENERAL PERMITTED ENCUMBRANCES****Re: PIN 14025-0180 (LT) & PIN 14025-0181 (LT)**

1. Any municipal by-laws or regulations affecting the Real Property or its use and any other municipal land use instruments including without limitation, official plans and zoning and building by-laws, as well as decisions of the committee of adjustment or any other competent authority permitting variances therefrom, and all applicable building codes;
2. Registered agreements with any municipal, provincial or federal governments or authorities and any public utilities or private suppliers of services, including without limitation, subdivision agreements, development agreements, engineering, grading or landscaping agreements and similar agreements; provided same have been complied with



or security has been posted to ensure compliance and completion as evidenced by a letter from the relevant authority or regulated utility;

3. Any unregistered easement, right-of-way, agreements or other unregistered interest of claims not disclosed by registered title provided same does not materially impact the Purchaser's intended use of the Purchased Assets;
4. Any encroachments or other discrepancies that might be revealed by an up-to-date plan of survey of the Real Property;
5. Such other minor encumbrances or defects in title which do not, individually or in the aggregate, materially affect the use, enjoyment or value of the Real Property or any part thereof, or materially impair the value thereof;
6. Any reservations, limitations, provisos and conditions expressed in the original grant from the Crown as the same may be varied by statute; and
7. The following exceptions and qualifications contained in Section 44(1) of the *Land Titles Act*: paragraphs 7, 8, 9, 10, 12 and 14. Court File No. 31-299040

**IN THE MATTER OF THE BANKRUPTCY OF BRAMALEA INC. OF THE CITY OF  
TORONTO IN THE PROVINCE OF ONTARIO**

Court File No. 31-299040  
Estate File No. 31-299040

***ONTARIO***  
**SUPERIOR COURT OF JUSTICE**  
**[IN BANKRUPTCY & INSOVLENCY]**  
**(COMMERCIAL LIST)**

**Proceedings commenced at Toronto**

**APPROVAL AND VESTING ORDER**  
**(returnable June 14, 2022)**

**LOOPSTRA NIXON LLP**

135 Queens Plate Drive – Suite 600  
Toronto, ON M9W 6V7

**R. Graham Phoenix (LSUC #52650N)**

Tel: (416) 748-4776

Fax: (416) 746-8319

Email: [gphoenix@loonix.com](mailto:gphoenix@loonix.com)

*Lawyers for Italtasta Limited, 1960526 Ontario  
Inc. and Joseph Vitale Management Limited*

**IN THE MATTER OF THE BANKRUPTCY OF BRAMALEA INC. OF THE CITY OF  
TORONTO IN THE PROVINCE OF ONTARIO**

Court File No. 31-299040  
Estate File No. 31-299040

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***ONTARIO***  
**SUPERIOR COURT OF JUSTICE**  
**(COMMERCIAL LIST)**

**Proceedings commenced at Toronto**

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**NOTICE OF MOTION**  
**(returnable June 14, 2022)**

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**LOOPSTRA NIXON LLP**  
135 Queens Plate Drive – Suite 600  
Toronto, ON M9W 6V7

**R. Graham Phoenix (LSUC #52650N)**  
Tel: (416) 748-4776  
Fax: (416) 746-8319  
Email: [gphoenix@loonix.com](mailto:gphoenix@loonix.com)

*Lawyers for Italtasta Limited, 1960526 Ontario  
Inc. and Joseph Vitale Management Limited*

# TAB 2

Court File No. 31-299040  
Estate File No. 31-299040

**ONTARIO**  
**SUPERIOR COURT OF JUSTICE**  
**[IN BANKRUPTCY AND INSOLVENCY]**  
**(COMMERCIAL LIST)**

**IN THE MATTER OF THE BANKRUPTCY OF**  
**BRAMALEA INC.**  
**OF THE CITY OF TORONTO IN THE PROVINCE OF ONTARIO**

**AFFIDAVIT OF JOSEPH VITALE**  
(sworn June 6, 2022)

I, JOSEPH VITALE, of the City of Toronto, in the Province of Ontario, MAKE OATH  
AND SAY AS FOLLOWS:

1. I am President of each of Italtasta Limited (“**IPL**”), Joseph Vitale Management Limited (“**JVML**”) and 1960526 Ontario Inc. (“**196Co**”) (collectively, the “**Italtasta Group**”). The facts set forth herein are within my personal knowledge or determined from the face of the documents attached hereto as exhibits and from information and advice provided to me by third parties. Where I have relied upon such information and advice, I verily believe same to be true.

**OVERVIEW**

2. Bramalea Inc. (“**Bramalea**” or the “**Bankrupt**”) is an undischarged bankrupt, since 1995.

3. Inexplicably, after more than 25 years, Bramalea still holds title to two (2) insignificant parcels of land in Brampton that are tiny remnants resulting from a municipal road extension (as discussed in more detail below, the “**Remnant Lands**”). The Remnant Lands are not

independently serviced lots but instead are wedged between two properties owned by the Italpasta Group and the road. In our view, they are of little to no value.

4. The Italpasta Group is in the process of investing in and developing its properties and discovered that the Remnant Lands are not part of its property – contrary to the existing, registered 1995 site plan which wrongly *includes* the Remnant Lands. Accordingly, the development cannot proceed until the status of the Remnant Lands is addressed.

5. I swear this affidavit in support of IPL’s motion to reappoint a trustee in the bankruptcy in respect of the estate of Bramalea Inc. (“**Bramalea**” or the “**Bankrupt**”). The express purpose of doing so, is to allow the trustee to deal with the Remnant Lands as set out herein.

## **BACKGROUND**

6. Bramalea is an Ontario corporation and is the successor to Bramalea Consolidated Developments Limited and Bramalea Limited, who merged on February 1, 1990, continuing as Bramalea Limited. Bramalea Limited then changed its name to “Bramalea Inc.” on August 3, 1994. A copy of the corporate profile reports for Bramalea and its successor corporations are attached hereto and collectively marked as Exhibit “A”.

7. Bramalea was in the business of development until it went bankrupt on April 26, 1995. A copy of a search against “Bramalea Inc.” of the records of Office of Superintendent of Bankruptcy (the “**OSB**”) is attached hereto as Exhibit “B”. Such search indicates that (a) Ernst & Young Inc. was appointed as trustee; (b) that Bramalea had no assets; and, (c) the Trustee was discharged on September 15, 1997.

8. In preparing for this application we consulted with MNP Ltd., as the proposed trustee. MNP Ltd. advises and I do verily believe that the OSB has advised that their records of the

Bramalea estate have been purged. I am advised by our counsel, and I do verily believe to be true, our counsel has requested that the original court file be retrieve from storage for viewing but that, to date, it has not been returned Accordingly, to date, there is no way to readily access the records of this estate.

## **ITALPASTA GROUP**

9. IPL is an Ontario company, located in Brampton, which is in the business of, among other things, the manufacture, packaging and distribution of food products. JVML and 196Co are related parties. Copies of the corporate profile reports for each of IPL, JVML and 196Co are attached and collectively marked as Exhibit “C”.

10. JVML which holds the real property known as PIN 14025-0027, depicted as “0027” in Exhibit “H hereto (“**Facility #1**”). 196Co is a related party which holds the real property known as PIN 14025-0028, depicted as “0028” in Exhibit “H” hereto (“**Facility #2**”; and, with Facility #1, the “**Facilities**”). Copies of the parcel register searches of Facility #1 and Facility #2 are attached hereto and collectively marked as Exhibit “D”.

11. The business operates out of each of the Facilities, which are physically connected by, among other things, an industrial conveyor system.

12. The Italtasta Group intends to upgrade and evolve its operations, which requires construction of additional physical connections between the Facilities. Such development requires site plan approval. A copy of the development site plan expansion drawings (the “**Development Plan**”) submitted by the Italtasta Group is attached hereto as Exhibit “E”.

## THE ISSUE

13. The Italpasta Group based its development on the registered 1995 site plan, which errantly shows that the Remnant Lands are part of Facility #1. A copy of the 1995 site plan (the “**1995 Plan**”) is attached hereto as Exhibit “F”.

14. During this process it became apparent that the fact that title to Remnant Lands was held by the Bankrupt would be an issue, as they did not legally comprise part of Facility #1.

15. Accordingly, unless the Italpasta Group acquires the Remnant Lands or revises its Development Plan (incurring much delay and cost), the evolution of the Facilities cannot proceed.

16. Additionally, the City of Brampton has advised it is their preference that the Italpasta Group acquire the Remnant Lands.

17. Given the circumstances and unique nature of the Remnant Lands, Italpasta Group is proposing the within relief to address this issue via the bankruptcy processes and procedures.

## THE REMNANT LANDS

18. The Bankrupt is still the owner of the Remnant Lands, which are two parcels of land in City of Brampton, namely: (i) PIN 14025-0180 (“**Parcel 180**”) and (ii) PIN 14025-0181 (“**Parcel 181**”). Copies of the parcel register searches of Remnant Lands at attached hereto and collectively marked as Exhibit “G”.

19. The Remnant Lands are the “leftovers” of a municipal road extension. Parcel 181 used to form part of a turning circle on Nuggett Court when such street was a “dead end”; and, Parcel 180



abutted that turning circle. However, in July 1988 that street was extended and the Parcel 181 was conveyed to Bramalea (even though the Italpasta Group owned the adjacent land) and Parcel 180 was held by Bramalea. A map depicting the above, obtained by our counsel, is attached hereto as Exhibit “H”.

20. Our understanding is that the Remnant Lands should have been conveyed to JVML, who the adjacent lands known as PIN 14025-0027, depicted as “0027” in Exhibit “D”, following the development and road extension. This is further evidenced by the 1995 Site Plan. As well, JVML has been advised by the City and I do verily believe to be true that the Remnant Lands are included on a single tax roll and that the City has been taxing the Remnant Lands as part of Facility #1.

#### **PROPOSED WAY FORWARD**

21. As set out in the within motion, the Italpasta Group is proposing that the Court order:
- (a) the re-appointment of a trustee of the estate of the Bankrupt (the “**Trustee**”) – namely, MNP Ltd.;
  - (b) approval of a purchase agreement between JVML, as purchaser, and the Trustee, as vendor, dated June 6 , 2022 (the “**Purchase Agreement**”), pursuant to which JVML will acquire the Remnant Lands, conditional on the outcome of a Trustee-administered sales process;
  - (c) approving, and authorizing the Trustee to administer, the “**Sales Process**” (as outlined below); and

- (d) in the event there are no “Qualifying Offers” or JVML is the winning bidder under the sales process, vesting the Remnant Lands in JVML free and clear of all encumbrances.

22. The Italpasta Group does not believe there is any practical value to the Remnant Lands to any person other than the Italpasta Group but, based on discussions with counsel and the Trustee, understands that the proposed process will evidence the same to the Court, in a reasonably efficient manner and comply with the prevailing bankruptcy laws applicable to the unique situation. The details of this proposal are set out as follows.

23. The parcel registers disclose two entities with registered interests against the Remnant Lands: (i) a debenture in favour of CIBC Bank; and, (ii) a lien for landscape work in favour of Nak Design '88 Inc., each of which appear dormant. We are serving CIBC per the registered instrument. We cannot, however, serve Nak Design '88 Inc., as that company was dissolved and no longer exists. A copy of the corporation profile for Nak Design '88 Inc. is attached hereto as Exhibit “I”. Regardless, no party will be prejudiced by the relief sought herein.

#### **RE-APPOINTMENT OF TRUSTEE**

24. I understand from counsel that the re-appointment of a trustee is the proper way to deal with remaining assets of an undischarged corporate bankrupt.

25. We have proposed MNP Ltd. to act as Trustee in part because they have experience with a very similar scenario in another file.

26. The Trustee is to be funded by IPL by way of a third-party deposit agreement.

27. I understand that not only will the Trustee address the Remnant Lands but will have general duties and obligations under the law relating to appointment.

28. MNP Ltd. is a qualified, licensed insolvency trustee and has consented to the appointment. A copy of MNP Ltd. executed consent to act is attached hereto as Exhibit “J”.

### **CONDITIONAL PURCHASE AGREEMENT**

29. The Purchase Agreement contemplates the purchase of the Remnant Lands, the principal terms of which are summarized as follows:

- (a) the purchase price is \$45,000.00;
- (b) a non-refundable deposit equal to 50% of the purchase price has been provided to the Trustee;
- (c) the purchase is on an “as is, where is” basis;
- (d) the closing date is the third (3<sup>rd</sup>) business day after JVML is determined to be the winning offer;
- (e) it is conditional on (i) the Court appointing the Trustee as trustee of the bankruptcy estate of bankrupt; (ii) granting an approval & vesting order and (iii) there being no qualifying offers received in the Sale Process or JVML being the winning offer in the Sales Process (the “**Approval & Vesting Order**”).

A copy of the Purchase Agreement is attached hereto and marked as Exhibit “K”.

30. The Purchase Agreement was developed in consultation with the Trustee and the Purchase Price represents a price that the Italpasta Group believes is at or in excess of fair market value.

31. I understand the Trustee supports and recommends the Purchase Agreement and will discuss the same in its report to Court as proposed trustee (the “**Pre-Appointment Report**”).

## **SALES PROCESS**

32. After understanding the impact of the bankruptcy of Bramalea and unique nature of the Remnant Lands, the Italpasta Group, in consultation with counsel and the Trustee developed an expedited Sales Process to evidence the value of the lands.

33. As stated and shown in the map at Exhibit “H”, the Remnant Lands are oddly shaped and abut only Facility #1, Facility #2 and the municipal road.

34. In my view, the Remnant Lands are naturally part of the Facility #1 and should have been transferred years ago. They currently comprise part of our parking lot, and we have been paying taxes on them. More importantly though, in my view there is no value in these lands to anyone other than the Italpasta Group. In fact, the acquisition of the Remnant Lands is not critical to the Development Plan but it represents a logical evolution of Facility #1 and is convenient, including for the City, who has requested that we attempt to acquire the Remnant Lands.

35. In consultation with counsel and the Trustee, I understand there is “theoretical value” to the lands. I also understand that only close, neighbouring landowners are likely to have an interest in any such “theoretical value”. The Trustee will address this in further detail in its Pre-Appointment Report. For these reasons, we understand a sales process will be required to prove the value of our offer.

36. The proposed Sales Process is detailed as follows:
- (a) a precondition to commencement is the Court issuing the Approval & Vesting Order, conditional on there being no qualifying offers received in the Sale Process or JVML being the winning offer in the Sales Process;
  - (b) the Trustee will approach the neighbouring landowners, being the registered owners of PINs 14025-0016, 14025-0017, 14025-0018, 14025-0019, 14025-0020, 14025-0488, PINs 14025-0490 (the “**Neighbouring Owners**”), by hand delivering a notice of the Sales Process at each such property;
  - (c) the Neighbouring Owners shall be given thirty (30) days to submit a Qualifying Offer (the “**Offer Deadline**”);
  - (d) a “**Qualifying Offer**” shall be a binding offer on the same terms and conditions of the Purchase Agreement (including a 50% deposit), except that:
    - (i) the purchase price shall be not less than 10% more than the purchase price offered in the Purchase Agreement; and
    - (ii) the offer shall include an additional payment of \$20,000, representing the anticipated costs of a further motion to Court to approve an alternate transaction;
  - (e) in the event there are no Qualifying Offers, the transaction under the Purchase Agreement shall close immediately pursuant to the Approval & Vesting Order;

- (f) in the event there are Qualifying Offers, the Trustee will hold a live auction within three (3) days of the Offer Deadline on such terms as the Trustee deems appropriate, offering JVML and all parties submitting a Qualifying Offer the chance to bid on the Remnant Lands;
- (g) in the event there is an auction and JVML is the winning bidder, the transaction under the Purchase Agreement shall close immediately pursuant to the Approval & Vesting Order;
- (h) in the event there is an auction and a party other than JVML is the winning bidder, the Purchase Agreement shall terminate and the Trustee shall apply to Court for approval of a transaction with such party.

37. The Trustee will address the Sales Process and the particulars thereof in further detail in its Pre-Appointment Report.

**APPROVAL OF THE PRE-APPOINTMENT REPORT AND SEALING OF CONFIDENTIAL APPENDICES**

38. I understand that it is common practice in insolvency matters for the Court to approve Trustee's reports and to seal sensitive commercial information pending the closing of a proposed transaction, which the Trustee is requesting here.

39. Subject to the final review of the filed Pre-Appointment Report by the Italpasta Group and its counsel, we support approval of the Pre-Appointment Report.

40. The Italpasta Group also supports the sealing of the Confidential Appendices pending completion of a transaction to sell and convey the Remnant Lands.

## CONCLUSION

41. The relief sought on the within motion will efficiently and economically address the unique and inexplicable circumstances of the Remnant Lands, doing so in accordance with the status of the Bankrupt and the law. The relief sought is supported by the Trustee. The Italtasta Group is not aware of any creditor or stakeholder would be prejudiced in the event that such relief is granted.

42. I swear this affidavit in support of the Italtasta Group's motion as set out above and for no other or improper purpose.

**SWORN BEFORE ME** via videoconference **this 6<sup>th</sup> day of June 2022. The affiant was located in the City of Toronto, in the Province of Ontario and the commissioner was located in the City of Toronto, in the Province of Ontario. This affidavit of commissioned remotely as result of COVID-19 protocols and administered in accordance with *Ontario Regulation 431/20.***



Commissioner for Taking Affidavits  
(or as may be)

Sarah White  
LSO No.: 82985M



JOSEPH VITALE

**TAB A**



Ministry of Government and  
Consumer Services

## Profile Report

BRAMALEA INC. as of June 06, 2022

Act	Business Corporations Act
Type	Ontario Business Corporation
Name	BRAMALEA INC.
Ontario Corporation Number (OCN)	1028469
Governing Jurisdiction	Canada - Ontario
Status	Active
Date of Amalgamation	May 01, 1993
Registered or Head Office Address	1 Queen Street, 2300, Toronto, Ontario, Canada, M5C 2Y9

Certified a true copy of the record of the Ministry of Government and Consumer Services.

A handwritten signature in black ink, appearing to read "V. Quintanilla W.".

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

**Active Director(s)**

Minimum Number of Directors 8  
Maximum Number of Directors 20

**Name** Howard L. BECK, Q.C.  
**Address for Service** 3 Ormsby Crescent, Toronto, Ontario, Canada, M5P 2V2  
**Resident Canadian** Yes  
**Date Began** May 01, 1993

**Name** Howard L. BECK, Q.C.  
**Address for Service** 3 Ormsby Crescent, Toronto, Ontario, Canada, M5P 2V2  
**Resident Canadian** Yes  
**Date Began** May 01, 1993

**Name** The Hon. William G. DAVIS, P.C., C.C., Q.C.  
**Address for Service** 61 Main Street South, Brampton, Ontario, Canada, L6Y 1M9  
**Resident Canadian** Yes  
**Date Began** May 01, 1993

**Name** The Hon. William G. DAVIS, P.C., C.C., Q.C.  
**Address for Service** 61 Main Street South, Brampton, Ontario, Canada, L6Y 1M9  
**Resident Canadian** Yes  
**Date Began** May 01, 1993

**Name** The Hon. Williard Z. ESTEY, C.C., Q.C.  
**Address for Service** 70 Rosehill Avenue, 307, Toronto, Ontario, Canada, M4T 2W7  
**Resident Canadian** Yes  
**Date Began** May 01, 1993

**Name** Robert T.E. GILLESPIE  
**Address for Service** 1288 Greenoaks Drive, Mississauga, Ontario, Canada, L5J 3A5  
**Resident Canadian** Yes  
**Date Began** May 01, 1993

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

**Active Officer(s)**

**Name** William J. ASH,III  
**Position** Other (untitled)  
**Address for Service** 3625 San Antonio Road, Yomba Linda, California, United States, 92686  
**Date Began** June 01, 1993

**Name** The Hon. William G. DAVIS, P.C., C.C., Q.C  
**Position** Other (untitled)  
**Address for Service** 61 Main Street South, Brampton, Ontario, Canada, L6Y 1M9  
**Date Began** May 01, 1993

**Name** The Hon. William G. DAVIS, P.C., C.C., Q.C.  
**Position** Other (untitled)  
**Address for Service** 61 Main Street South, Brampton, Ontario, Canada, L6Y 1M9  
**Date Began** May 01, 1993

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

**Corporate Name History****Name**

BRAMALEA INC.

**Effective Date**

August 03, 1994

**Previous Name**

BRAMALEA LIMITED

**Effective Date**

May 01, 1993

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Director/Registrar

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**Amalgamating Corporations**

Corporation Name

695211 ONTARIO INC.

Ontario Corporation Number

695211

Corporation Name

BRAMALEA LIMITED

Ontario Corporation Number

879415

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### Active Business Names

This corporation does not have any active business names registered under the Business Names Act in Ontario.

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### Expired or Cancelled Business Names

This corporation does not have any expired or cancelled business names registered under the Business Names Act in Ontario.

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## Document List

Filing Name	Effective Date
CIA - Notice of Change PAF: ROSS W. FRANCIS - OTHER	June 30, 1998
CIA - Notice of Change PAF: ROSS WILLIAM FRANCIS - OFFICER	May 02, 1995
CIA - Notice of Change PAF: ROSS WILLIAM FRANCIS - OTHER	April 28, 1995
CIA - Notice of Change PAF: ROSS WILLIAM FRANCIS - OFFICER	March 09, 1995
BCA - Special Resolution	February 08, 1995
CIA - Notice of Change PAF: ROSS WILLIAM FRANCIS - OFFICER	November 28, 1994
CIA - Notice of Change PAF: HILDA GOSSACK - OFFICER	November 09, 1994
BCA - Articles of Amendment	August 03, 1994
Other - SPECIAL NOTICE 2 PAF: HILDA S. GOSSACK - OFFICER	June 30, 1994
CIA - Notice of Change PAF: HILDA GOSSACK - OFFICER	May 26, 1994
CIA - Notice of Change PAF: HILDA GOSSACK - OFFICER	March 15, 1994
BCA - Special Resolution	February 01, 1994
CIA - Notice of Change PAF: HILDA GOSSACK - OFFICER	January 12, 1994
CIA - Notice of Change PAF: HILDA GOSSACK - OFFICER	September 15, 1993

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CIA - Notice of Change PAF: HILDA GOSSACK - OFFICER	July 19, 1993
CIA - Notice of Change PAF: HILDA GOSSACK - OFFICER	July 07, 1993
CIA - Notice of Change PAF: HILDA GOSSACK - OFFICER	June 10, 1993
CIA - Initial Return PAF: HILDA GOSSACK - OFFICER	May 11, 1993
BCA - Articles of Amalgamation	May 01, 1993

All "PAF" (person authorizing filing) information is displayed exactly as recorded in the Ontario Business Registry. Where PAF is not shown against a document, the information has not been recorded in the Ontario Business Registry.

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Director/Registrar

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Ministry of Government and  
Consumer Services

## Profile Report

BRAMALEA LIMITED as of June 06, 2022

<b>Act</b>	Business Corporations Act
<b>Type</b>	Ontario Business Corporation
<b>Name</b>	BRAMALEA LIMITED
<b>Ontario Corporation Number (OCN)</b>	879415
<b>Governing Jurisdiction</b>	Canada - Ontario
<b>Status</b>	Inactive - Amalgamated
<b>Date of Incorporation/Amalgamation</b>	February 01, 1990
<b>Inactive Date</b>	May 01, 1993
<b>New Amalgamated Ontario Corporation Number</b>	1028469
<b>Registered or Head Office Address</b>	One Queen Street East, 2300, Toronto, Ontario, Canada, M5C 2Y9

Certified a true copy of the record of the Ministry of Government and Consumer Services.

A handwritten signature in black ink, appearing to read "V. Quintanilla W.".

Director/Registrar

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**Active Director(s)**

Minimum Number of Directors  
Maximum Number of Directors

[Not Provided]  
[Not Provided]

**Name**  
**Address for Service**

Gordon E. ARNELL  
175 Cumberland Street, Renaissance Plaza 1707, Toronto,  
Ontario, Canada, M5R 3M9

**Resident Canadian**  
**Date Began**

Yes  
February 27, 1992

**Name**  
**Address for Service**  
**Resident Canadian**  
**Date Began**

Howard L. BECK  
3 Ormsby Crescent, Toronto, Ontario, Canada, M5P 2V2  
Yes  
February 27, 1992

**Name**  
**Address for Service**  
**Resident Canadian**  
**Date Began**

Howard L. BECK, Q.C.  
3 Ormsby Crescent, Toronto, Ontario, Canada, M5P 2V2  
Yes  
February 27, 1992

**Name**  
**Address for Service**  
**Resident Canadian**  
**Date Began**

Kevin E. BENSON  
139 Woodacres Drive S.W., Calgary, Alberta, Canada, T2W  
4V8  
Yes  
February 27, 1992

**Name**  
**Address for Service**  
**Resident Canadian**  
**Date Began**

Peter F. BRONFMAN  
181 Bay Street, 4500, Toronto, Ontario, Canada, M5J 2T3  
Yes  
February 27, 1992

**Name**  
**Address for Service**  
**Resident Canadian**  
**Date Began**

Jack L. COCKWELL  
34 Whitney Avenue, Toronto, Ontario, Canada, M4W 2A8  
Yes  
February 27, 1992

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*V. Quintanilla W.*

Director/Registrar

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**Name** William G. DAVIS  
**Address for Service** 61 Main Street S., Brampton, Ontario, Canada, L6Y 1M9  
**Resident Canadian** Yes  
**Date Began** February 27, 1992

**Name** The Hon. William G. DAVIS, P.C., C.C., Q.C.  
**Address for Service** 61 Main Street S., Brampton, Ontario, Canada, L6Y 1M9  
**Resident Canadian** Yes  
**Date Began** February 27, 1992

**Name** The Hon. William G. DAVIS, P.C., C.C., Q.C.  
**Address for Service** 61 Main Street S., Brampton, Ontario, Canada, L6Y 1M9  
**Resident Canadian** Yes  
**Date Began** February 27, 1992

**Name** The Hon. William G. DAVIS, P.C., C.C., Q.C.  
**Address for Service** 61 Main Street S., Brampton, Ontario, Canada, L6Y 1M9  
**Resident Canadian** Yes  
**Date Began** February 27, 1992

**Name** Willard Z. ESTEY  
**Address for Service** 70 Rosehill Avenue, 307, Toronto, Ontario, Canada, M4T 2W7  
**Resident Canadian** Yes  
**Date Began** February 27, 1992

**Name** The Hon. Willard Z. ESTEY, C.C., Q.C.  
**Address for Service** 70 Rosehill Avenue, 307, Toronto, Ontario, Canada, M4T 2W7  
**Resident Canadian** Yes  
**Date Began** February 27, 1992

**Name** The Hon. Willard Z. ESTEY, C.C., Q.C.  
**Address for Service** 70 Rosehill Avenue, 307, Toronto, Ontario, Canada, M4T 2W7  
**Resident Canadian** Yes  
**Date Began** February 27, 1992

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<b>Name</b>	The Hon. Willard Z. ESTEY,C.C.,Q.C.
<b>Address for Service</b>	70 Rosehill Avenue, 307, Toronto, Ontario, Canada, M4T 2W7
<b>Resident Canadian</b>	Yes
<b>Date Began</b>	February 27, 1992
<b>Name</b>	Joseph F. KILLI
<b>Address for Service</b>	148 Woodacres Drive S.W., Calgary, Alberta, Canada, T2W 4Z8
<b>Resident Canadian</b>	Yes
<b>Date Began</b>	February 27, 1992
<b>Name</b>	Joseph LEBOVIC
<b>Address for Service</b>	175 Cumberland Street, Renaissance Plaza 2502, Toronto, Ontario, Canada, M5R 3M9
<b>Resident Canadian</b>	Yes
<b>Date Began</b>	February 27, 1992
<b>Name</b>	Marvin G. MARSHALL
<b>Address for Service</b>	145 Crescent Road, Toronto, Ontario, Canada, M4W 1V1
<b>Resident Canadian</b>	No
<b>Date Began</b>	February 27, 1992
<b>Name</b>	Harold P. MILAVSKY
<b>Address for Service</b>	500 Eau Claire Avenue S W, Calgary, Alberta, Canada, T2P 3R8
<b>Resident Canadian</b>	Yes
<b>Date Began</b>	February 27, 1992
<b>Name</b>	J. Richard SHIFF
<b>Address for Service</b>	28 Alexandra Wood, Toronto, Ontario, Canada, M5N 1T6
<b>Resident Canadian</b>	Yes
<b>Date Began</b>	February 27, 1992
<b>Name</b>	J. Richard SHIFF, Q.C.
<b>Address for Service</b>	28 Alexandra Wood, Toronto, Ontario, Canada, M5N 2S1
<b>Resident Canadian</b>	Yes
<b>Date Began</b>	February 27, 1992

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<b>Name</b>	Benjamin SWIRSKY
<b>Address for Service</b>	350 Fairlawn Avenue, Toronto, Ontario, Canada, M5M 1T6
<b>Resident Canadian</b>	Yes
<b>Date Began</b>	February 27, 1992

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**Active Officer(s)**

**Name** David Bruce BENTLEY  
**Position** Other (untitled)  
**Address for Service** 1528 Sturgeon Court, Pickering, Ontario, Canada, L1V 5P7  
**Date Began** December 08, 1992

**Name** Paul D. CAMPBELL  
**Position** Other (untitled)  
**Address for Service** 534 Blythwood Road, Toronto, Ontario, Canada, M4N 1B3  
**Date Began** February 27, 1992

**Name** Stewart D. DAVIDSON  
**Position** Other (untitled)  
**Address for Service** 60 Fifeshire Road, Willowdale, Ontario, Canada, M2L 2G8  
**Date Began** February 27, 1992

**Name** William G. DAVIS  
**Position** Other (untitled)  
**Address for Service** 61 Main Street S., Brampton, Ontario, Canada, L6Y 1M9  
**Date Began** February 27, 1992

**Name** The Hon. William G. DAVIS, P.C., C.C., Q.C.  
**Position** Other (untitled)  
**Address for Service** 61 Main Street S., Brampton, Ontario, Canada, L6Y 1M9  
**Date Began** February 27, 1992

**Name** The Hon. William G. DAVIS, P.C., C.C., Q.C.  
**Position** Other (untitled)  
**Address for Service** 61 Main Street S., Brampton, Ontario, Canada, L6Y 1M9  
**Date Began** February 27, 1992

**Name** The Hon. William G. DAVIS, P.C., C.C., Q.C.  
**Position** Other (untitled)  
**Address for Service** 61 Main Street S., Brampton, Ontario, Canada, L6Y 1M9  
**Date Began** February 27, 1992

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Director/Registrar

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**Name** Luigi I. FAVIT  
**Position** Other (untitled)  
**Address for Service** 10 Prince George Drive, Etobicoke, Ontario, Canada, M9A 1X8  
**Date Began** December 08, 1992

**Name** Luigi L. FAVIT  
**Position** Other (untitled)  
**Address for Service** 10 Prince George Drive, Etobicoke, Ontario, Canada, M9A 1X8  
**Date Began** December 08, 1992

**Name** Peter C. FORDE  
**Position** Other (untitled)  
**Address for Service** 32 Bowes Garden Court, West Hill, Ontario, Canada, M1C 4C2  
**Date Began** February 27, 1992

**Name** Peter C. FORGE  
**Position** Other (untitled)  
**Address for Service** 32 Bowes Garden Court, West Hill, Ontario, Canada, M1C 4C2  
**Date Began** February 27, 1992

**Name** Hilda S. GOSSACK  
**Position** Other (untitled)  
**Address for Service** 300 Eglinton Avenue East, 802, Toronto, Ontario, Canada, M4P 1L5  
**Date Began** February 27, 1992

**Name** Frank J. GRAHAM  
**Position** Other (untitled)  
**Address for Service** 12 Marilyn Avenue, Vandonf, Ontario, Canada, L0H 1G0  
**Date Began** February 27, 1992

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<b>Name</b>	H. Dane HOOKS
<b>Position</b>	Other (untitled)
<b>Address for Service</b>	4050 South Hudson Way, Engelwood, Colorado, United States, 80110
<b>Date Began</b>	February 27, 1992
<b>Name</b>	Marvin G. MARSHALL
<b>Position</b>	Other (untitled)
<b>Address for Service</b>	145 Crescent Road, Toronto, Ontario, Canada, M4W 1V1
<b>Date Began</b>	February 27, 1992
<b>Name</b>	Marvin G. MARSHALL
<b>Position</b>	President
<b>Address for Service</b>	145 Crescent Road, Toronto, Ontario, Canada, M4W 1V1
<b>Date Began</b>	February 27, 1992
<b>Name</b>	William R. MCCLINTOCK
<b>Position</b>	Other (untitled)
<b>Address for Service</b>	252 Spadina Road, Toronto, Ontario, Canada, M5R 2V1
<b>Date Began</b>	February 27, 1992
<b>Name</b>	Thomas W. PAYTON
<b>Position</b>	Other (untitled)
<b>Address for Service</b>	34 Personna Blvd., Markham, Ontario, Canada, L6C 1E9
<b>Date Began</b>	February 27, 1992
<b>Name</b>	Thomas W. PAYTON
<b>Position</b>	Treasurer
<b>Address for Service</b>	34 Personna Blvd., Markham, Ontario, Canada, L6C 1E9
<b>Date Began</b>	February 27, 1992
<b>Name</b>	George S. SCHOTT
<b>Position</b>	Other (untitled)
<b>Address for Service</b>	4 Mattawa Court, Whitby, Ontario, Canada, L1P 1E3
<b>Date Began</b>	February 27, 1992

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<b>Name</b>	Charles SIMON
<b>Position</b>	Other (untitled)
<b>Address for Service</b>	99 Dunloe Road, Toronto, Ontario, Canada, M5P 2T7
<b>Date Began</b>	February 27, 1992
<b>Name</b>	Charles SIMON
<b>Position</b>	Secretary
<b>Address for Service</b>	99 Dunloe Road, Toronto, Ontario, Canada, M5P 2T7
<b>Date Began</b>	February 27, 1992
<b>Name</b>	Leon SWAILS
<b>Position</b>	Other (untitled)
<b>Address for Service</b>	1 Burning Tree, Laguna Niquel, California, United States, 92677
<b>Date Began</b>	April 22, 1992
<b>Name</b>	Leon C. SWAILS
<b>Position</b>	Other (untitled)
<b>Address for Service</b>	1 Burning Tree, Laguna Niquel, [Not Provided], [Not Provided], 92677
<b>Date Began</b>	April 22, 1992
<b>Name</b>	Benjamin SWIRSKY
<b>Position</b>	Other (untitled)
<b>Address for Service</b>	350 Fairlawn Avenue, Toronto, Ontario, Canada, M5M 1T6
<b>Date Began</b>	February 27, 1992

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**Corporate Name History****Name****Effective Date**

BRAMALEA LIMITED

Refer to Corporate Records

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Director/Registrar

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**Amalgamating Corporations**

<b>Corporation Name</b>	SCARBOROUGH SHOPPING CENTRE HOLDINGS LIMITED
<b>Ontario Corporation Number</b>	679311
<b>Corporation Name</b>	TRILEA HOLDINGS INC. LES PLACEMENTS TRILEA INC.
<b>Ontario Corporation Number</b>	675065
<b>Corporation Name</b>	LES GALERIES NORMANDIE (TRILEA) INC.
<b>Ontario Corporation Number</b>	872800
<b>Corporation Name</b>	TRILEA SHOPPING CENTRES LIMITED CENTRE D'ACHATS TRILEA LIMITEE
<b>Ontario Corporation Number</b>	822220
<b>Corporation Name</b>	DANFORTH SHOPPERS WORLD LIMITED
<b>Ontario Corporation Number</b>	631929
<b>Corporation Name</b>	ALBION SHOPPERS WORLD LIMITED
<b>Ontario Corporation Number</b>	631927
<b>Corporation Name</b>	BRAMALEA LIMITED
<b>Ontario Corporation Number</b>	304963
<b>Corporation Name</b>	CARLINGWOOD PROPERTIES LIMITED
<b>Ontario Corporation Number</b>	108532
<b>Corporation Name</b>	YORKDALE HOLDINGS LIMITED
<b>Ontario Corporation Number</b>	679312
<b>Corporation Name</b>	BRAMPTON SHOPPERS WORLD LIMITED
<b>Ontario Corporation Number</b>	631928

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*V. Quintanilla W.*

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### Active Business Names

This corporation does not have any active business names registered under the Business Names Act in Ontario.

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Director/Registrar

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### Expired or Cancelled Business Names

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Director/Registrar

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## Document List

Filing Name	Effective Date
Other - AMALGAMATION MEMO TO FILE	May 01, 1993
CIA - Notice of Change PAF: HILDA GOSSACK - OFFICER	April 02, 1993
BCA - Articles of Amendment	March 22, 1993
BCA - Special Resolution	March 17, 1993
CIA - Notice of Change PAF: HILDA GOSSACK - Officer	February 17, 1993
CIA - Notice of Change PAF: HILDA GOSSACK - Officer	December 21, 1992
CIA - Notice of Change PAF: HILDA GOSSACK - Officer	December 14, 1992
CIA - Notice of Change PAF: HILDA GOSSACK - Officer	November 27, 1992
CIA - Notice of Change PAF: HILDA GOSSACK - Officer	November 20, 1992
CIA - Notice of Change PAF: HILDA GOSSACK - Officer	November 10, 1992
CIA - Notice of Change PAF: HILDA GOSSACK - Officer	July 20, 1992
CPCV - Corporate Conversion ADD	June 27, 1992

All "PAF" (person authorizing filing) information is displayed exactly as recorded in the Ontario Business Registry. Where PAF is not shown against a document, the information has not been recorded in the Ontario Business Registry.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.



Ministry of Government and  
Consumer Services

## Profile Report

BRAMALEA LIMITED as of June 06, 2022

Act	Business Corporations Act
Type	Ontario Business Corporation
Name	BRAMALEA LIMITED
Ontario Corporation Number (OCN)	304963
Governing Jurisdiction	Canada - Ontario
Status	Inactive - Amalgamated
Date of Incorporation/Amalgamation	April 30, 1975
Inactive Date	February 01, 1990
New Amalgamated Ontario Corporation Number	879415

Certified a true copy of the record of the Ministry of Government and Consumer Services.

A handwritten signature in black ink, appearing to read "V. Quintanilla W.".

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

**Active Director(s)**

There are no active Directors currently on file for this corporation

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Active Officer(s)**

There are no active Officers currently on file for this corporation.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Corporate Name History****Name****Effective Date**

BRAMALEA LIMITED

Refer to Corporate Records

**Previous Name****Effective Date**

BRAMALEA CONSOLIDATED DEVELOPMENTS LIMITED

Refer to Corporate Records

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Amalgamating Corporations**

Corporation Name	BRAMALEA CONSOLIDATED DEVELOPMENTS LIMITED
Ontario Corporation Number	206247
Corporation Name	BRAMALEA MANAGEMENT CORPORATION LIMITED
Ontario Corporation Number	218350
Corporation Name	BRAMALEA OFFICE BUILDINGS LIMITED
Ontario Corporation Number	240660
Corporation Name	BRAMCO DEVELOPMENTS (1970) LIMITED
Ontario Corporation Number	74382
Corporation Name	BRAMALEA LEASING CORPORATION LIMITED
Ontario Corporation Number	136444
Corporation Name	AMBERLEA DEVELOPMENTS LIMITED
Ontario Corporation Number	265825
Corporation Name	THE GREATER CEDARWOOD DEVELOPMENT CORPORATION LIMITED
Ontario Corporation Number	237479
Corporation Name	COL-CHUK INVESTMENTS LIMITED
Ontario Corporation Number	283973

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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### Active Business Names

This corporation does not have any active business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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### Expired or Cancelled Business Names

This corporation does not have any expired or cancelled business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Document List**

**Filing Name**

CPCV - Corporate Conversion ADD

**Effective Date**

June 27, 1992

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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Ministry of Government and  
Consumer Services

## Profile Report

BRAMALEA CONSOLIDATED DEVELOPMENTS LIMITED as of June 06, 2022

Act	Business Corporations Act
Type	Ontario Business Corporation
Name	BRAMALEA CONSOLIDATED DEVELOPMENTS LIMITED
Ontario Corporation Number (OCN)	206247
Governing Jurisdiction	Canada - Ontario
Status	Inactive - Amalgamated
Date of Incorporation/Amalgamation	September 30, 1967
Inactive Date	April 30, 1975
New Amalgamated Ontario Corporation Number	304963

Certified a true copy of the record of the Ministry of Government and Consumer Services.

A handwritten signature in black ink, appearing to read "V. Quintanilla W.".

Director/Registrar

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**Active Director(s)**

There are no active Directors currently on file for this corporation

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Active Officer(s)**

There are no active Officers currently on file for this corporation.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Corporate Name History****Name****Effective Date**

BRAMALEA CONSOLIDATED DEVELOPMENTS LIMITED

Refer to Corporate Records

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Amalgamating Corporations****Corporation Name****Ontario Corporation Number**

BRAMALEA CONSOLIDATED DEVELOPMENTS LIMITED

90732

**Corporation Name****Ontario Corporation Number**

BRAMALEA SHOPPING CENTRES LIMITED

112199

**Corporation Name****Ontario Corporation Number**

BRAMALEA CONSTRUCTION (PEEL) LIMITED

106088

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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### Active Business Names

This corporation does not have any active business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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### Expired or Cancelled Business Names

This corporation does not have any expired or cancelled business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Document List****Filing Name**

CB - Memo to File (461m)

CPCV - Corporate Conversion ADD

**Effective Date**

March 20, 2009

June 27, 1992

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

**TAB B**



**Bankruptcy and Insolvency Records Search (BIA) search results |  
Résultats de la recherche dans le Registre des dossiers de faillite et d'insolvabilité (LFI)**

2021-08-10

Search Criteria | Critères de recherche :  
Reference | Référence :

D | Identification = 31-299040

A search of the Office of the Superintendent of Bankruptcy records has revealed the following information, for the period 1978 to 2021-08-06, based on the search criteria above-mentioned.

Une recherche dans les dossiers du Bureau du surintendant des faillites a permis de trouver l'information suivante, pour la période allant de 1978 à 2021-08-06, selon les critères de recherche susmentionnés.

BIA Estate Number   Numéro du dossier en vertu de la LFI :	31-299040
BIA Estate Name   Nom du dossier en vertu de la LFI :	BRAMALEA INC.
Birth Date   Date de naissance :	
Province :	Ontario   Ontario
Address   Adresse :	1 QUEEN STREET EAST, TORONTO, Ontario, M5C2Y9
Estate Type   Type de dossier :	BANKRUPTCY   FAILLITE
Date of Proceeding   Date de la procédure :	1995-04-26
Total Liabilities*   Total du passif* :	\$1,001
Total Assets*   Total de l'actif* :	\$0
First Meeting of Creditors   Première assemblée des créanciers :	1995-04-26 10:00:00
Discharge Status   Statut de la libération :	
Effective Date   Date d'entrée en vigueur :	
Court Number   Numéro de cour :	31-299040

\* As declared by debtor | Tel que déclaré par le débiteur

Appointed Licensed Insolvency Trustee or Administrator   Syndic autorisé en insolvabilité ou administrateur nommé :	ERNST & YOUNG INC.
Responsible Person   Personne responsable :	RICHARDSON, DAVID IAN
Address   Adresse :	107 THOMPSON ROAD, R.R. #1, GRAFTON, Ontario, Canada, K0K2G0
Telephone   Téléphone :	905-349-2174
Fax   Télécopieur :	905-349-9925
Licensed Insolvency Trustee or Administrator's Discharge Date   Date de la libération du syndic autorisé en insolvabilité ou de l'administrateur :	1997-09-15

**TAB C**

Ministry of Government and  
Consumer Services

## Profile Report

1960526 ONTARIO INC. as of June 03, 2022

Act	Business Corporations Act
Type	Ontario Business Corporation
Name	1960526 ONTARIO INC.
Ontario Corporation Number (OCN)	1960526
Governing Jurisdiction	Canada - Ontario
Status	Active
Date of Incorporation	August 17, 2016
Registered or Head Office Address	116 Nuggett Court, Brampton, Ontario, Canada, L6T 5A9

Certified a true copy of the record of the Ministry of Government and Consumer Services.

A handwritten signature in black ink, appearing to read "V. Quintanilla W.".

Director/Registrar

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**Active Director(s)**

Minimum Number of Directors 1  
Maximum Number of Directors 10

Name Joseph VITALE  
Address for Service 116 Nuggett Court, Brampton, Ontario, Canada, L6T 5A9  
Resident Canadian Yes  
Date Began August 17, 2016

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Active Officer(s)**

There are no active Officers currently on file for this corporation.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Corporate Name History****Name**

1960526 ONTARIO INC.

**Effective Date**

August 17, 2016

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*V. Quintanilla W.*

Director/Registrar

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**Active Business Names**

This corporation does not have any active business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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### Expired or Cancelled Business Names

This corporation does not have any expired or cancelled business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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## Document List

Filing Name	Effective Date
Annual Return - 2020 PAF: JOSEPH VITALE - DIRECTOR	November 22, 2020
Annual Return - 2019 PAF: JOSEPH VITALE - DIRECTOR	November 17, 2019
Annual Return - 2018 PAF: JOSEPH VITALE - DIRECTOR	January 20, 2019
Annual Return - 2017 PAF: JOSEPH VITALE - DIRECTOR	January 21, 2018
CIA - Notice of Change PAF: JEAN D. DUGUAY - OTHER	August 26, 2016
BCA - Articles of Incorporation	August 17, 2016

All "PAF" (person authorizing filing) information is displayed exactly as recorded in the Ontario Business Registry. Where PAF is not shown against a document, the information has not been recorded in the Ontario Business Registry.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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Ministry of Government and  
Consumer Services

## Profile Report

ITALPASTA LIMITED as of June 03, 2022

Act	Business Corporations Act
Type	Ontario Business Corporation
Name	ITALPASTA LIMITED
Ontario Corporation Number (OCN)	1294654
Governing Jurisdiction	Canada - Ontario
Status	Active
Date of Amalgamation	May 11, 1998
Registered or Head Office Address	116 Nuggett Court, Brampton, Ontario, Canada, L6T 5A9

Certified a true copy of the record of the Ministry of Government and Consumer Services.

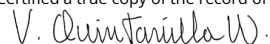
A handwritten signature in black ink, appearing to read "V. Quintanilla W.".

Director/Registrar

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**Active Director(s)****Minimum Number of Directors**  
**Maximum Number of Directors**1  
5**Name**  
**Address for Service**  
**Resident Canadian**  
**Date Began**Joseph VITALE  
7 Garnier Court, Willowdale, Ontario, Canada, M2M 4C7  
Yes  
May 11, 1998

Certified a true copy of the record of the Ministry of Government and Consumer Services.



Director/Registrar

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**Active Officer(s)**

There are no active Officers currently on file for this corporation.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Corporate Name History****Name**

ITALPASTA LIMITED

**Effective Date**

May 11, 1998

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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**Amalgamating Corporations**

Corporation Name

1159877 ONTARIO LIMITED

Ontario Corporation Number

1159877

Corporation Name

ITALPASTA LIMITED

Ontario Corporation Number

606288

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

### Active Business Names

This corporation does not have any active business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

### Expired or Cancelled Business Names

This corporation does not have any expired or cancelled business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

## Document List

Filing Name	Effective Date
Annual Return - 2020 PAF: JOSEPH VITALE - DIRECTOR	May 23, 2021
Annual Return - 2018 PAF: JOSEPH VITALE - DIRECTOR	May 23, 2021
Annual Return - 2019 PAF: JOSEPH VITALE - DIRECTOR	May 23, 2021
Annual Return - 2017 PAF: JOSEPH VITALE - OFFICER	May 23, 2021
Annual Return - 2020 PAF: JOSEPH VITALE - DIRECTOR	January 03, 2021
Annual Return - 2019 PAF: JOSEPH VITALE - DIRECTOR	October 20, 2019
Annual Return - 2018 PAF: JOSEPH VITALE - DIRECTOR	October 21, 2018
Annual Return - 2017 PAF: JOSEPH VITALE - OFFICER	November 12, 2017
Annual Return - 2016 PAF: JOSEPH VITALE - OFFICER	September 25, 2016
Annual Return - 2015 PAF: JOSEPH VITALE - OFFICER	October 24, 2015
Annual Return - 2014 PAF: JOSEPH VITALE - OFFICER	October 04, 2014
Annual Return - 2013 PAF: JOSEPH VITALE - OFFICER	September 14, 2013
Annual Return - 2012 PAF: JOSEPH VITALE - OFFICER	November 03, 2012

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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Annual Return - 2011 PAF: JOSEPH VITALE - OFFICER	October 01, 2011
Annual Return - 2010 PAF: JOSEPH VITALE - OFFICER	October 14, 2010
Annual Return - 2009 PAF: JOSEPH VITALE - OFFICER	August 15, 2009
Annual Return - 2008 PAF: JOSEPH VITALE - OFFICER	August 31, 2008
Annual Return - 2007 PAF: JOSEPH VITALE - OFFICER	September 29, 2007
Annual Return - 2006 PAF: JOSEPH VITALE - OFFICER	October 28, 2006
Annual Return - 2005 PAF: JOSEPH VITALE - OFFICER	November 27, 2005
Annual Return - 2003 PAF: JOSEPH VITALE - OFFICER	November 13, 2004
Annual Return - 2002 PAF: JOSEPH VITALE - OFFICER	August 10, 2003
Annual Return - 2001 PAF: JOSEPH VITALE - OFFICER	October 13, 2002
Annual Return - 2000 PAF: JOSEPH VITALE	November 23, 2001
BCA - Articles of Amalgamation	May 11, 1998

All "PAF" (person authorizing filing) information is displayed exactly as recorded in the Ontario Business Registry. Where PAF is not shown against a document, the information has not been recorded in the Ontario Business Registry.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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## Corporate Affairs Registry Database

Help

### The credit card transaction was successful

- Transaction Amount: **\$3.45**
- Transaction #: **8975539**
- Authorization #: **055134**
- Date of Transaction: **2022-06-03 06:09:55**
- HST #: **10786 3888 RT0006**

We recommend that you print this screen and retain it with your records

New Search

General Information	
Reference Number:	506971
Name:	JOSEPH VITALE MANAGEMENT LIMITED
Registration Date:	1998-05-08
Category Code:	61
Category:	corporation – Business Corporations Act
Status Code:	A
Status:	Active
Last Status Change Date:	2014-07-04
Available Documents	
Click <a href="#">here</a> to view electronic documents for this record.	
Click <a href="#">here</a> to order paper copies of documents.	
Click <a href="#">here</a> to order certified copies of documents.	
Annual Return Information	
Last Annual Return Filed:	2021
Registered Office	
Address:	44 Chipman Hill Suite 1000 Saint John NB E2L 2A9
Directors	
Name:	VITALE, JOSEPH
Address:	116 Nugget Court Brampton ON L6T 5A9
Amendments Other Than a Name Change	
Date:	2009-03-05
Date:	2009-02-24





Ministry of Government and  
Consumer Services

## Profile Report

JOSEPH VITALE MANAGEMENT LIMITED as of June 03, 2022

Act	Corporations Information Act
Type	Extra-Provincial Domestic Corporation with Share
Name	JOSEPH VITALE MANAGEMENT LIMITED
Ontario Corporation Number (OCN)	363285
Governing Jurisdiction	Canada - New Brunswick
Former Jurisdiction	Canada - Ontario
Incorporation/Amalgamation Date	July 21, 1977
Registered or Head Office Address	116 Nuggett Court, Brampton, Ontario, Canada, L6T 5A9
Status	Refer to Governing Jurisdiction
Date Commenced in Ontario	July 21, 1977
Principal Place of Business	116 Nuggett Court, Brampton, Ontario, Canada, L6T 5A9

Certified a true copy of the record of the Ministry of Government and Consumer Services.

A handwritten signature in black ink, appearing to read "V. Quintanilla W.".

Director/Registrar

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**Chief Officer or Manager**

**Name**

Joseph VITALE

**Address for Service**

116 Nuggett Court, Brampton, Ontario, Canada, L6T 5A9

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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## Corporate Name History

Refer to Governing Jurisdiction

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### Active Business Names

This corporation does not have any active business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

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### Expired or Cancelled Business Names

This corporation does not have any expired or cancelled business names registered under the Business Names Act in Ontario.

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*V. Quintanilla W.*

Director/Registrar

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## Document List

Filing Name	Effective Date
CIA - Notice of Change PAF: JOSEPH VITALE - DIRECTOR	February 11, 2016
CIA - Initial Return PAF: MARY-JANE GOVERS - OTHER	June 05, 1998
CB - Corporation Transferred Out (461t)	June 02, 1998
BCA - Authorization to Continue in Another Canadian Jurisdiction	May 07, 1998
Other - SPECIAL NOTICE 3 PAF: ROSE VITALE - DIRECTOR	January 17, 1995
Other - SPECIAL NOTICE 2 PAF: JOSEPH VITALE	January 04, 1994
Other - SPECIAL NOTICE PAF: JOSEPH VITALE - Officer	September 18, 1992
CPCV - Corporate Conversion ADD	June 27, 1992

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**TAB D**

LAND  
REGISTRY  
OFFICE #43

14025-0027 (LT)

PREPARED FOR Shannon1  
ON 2022/06/03 AT 16:51:21

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT BLK S PL 977 CHINGUACOUSY; PT BLK U PL 977 CHINGUACOUSY PTS 22 & 23, 43R14908 ; S/T VS344874 BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE  
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 14025-0214

PIN CREATION DATE:

1998/12/21

OWNERS' NAMES

JOSEPH VITALE MANAGEMENT LIMITED

CAPACITY SHARE

BENO

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
<p><b>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/06/24 ON THIS PIN**</b></p> <p><b>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/12/21**</b></p> <p><b>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/12/21 **</b></p> <p><b>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</b></p> <p><b>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * AND ESCHEATS OR FORFEITURE TO THE CROWN.</b></p> <p><b>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY CONVENTION.</b></p> <p><b>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</b></p> <p><b>**DATE OF CONVERSION TO LAND TITLES: 1998/12/22 **</b></p>						
VS204279	1972/03/22	AGREEMENT			THE CORPORATION OF THE TOWNSHIP OF CHINGUACOUSY	C
REMARKS: DELETED FROM 14024 0225 BY VMIKLOSKA 2003 12 23						
VS260858	1973/05/15	AGREEMENT			THE CORPORATION OF THE TOWNSHIP OF CHINGUACOUSY	C
REMARKS: SKETCH ATTACHED.						
VS264566	1973/06/06	BYLAW EX PART LOT				C
VS344874	1975/03/10	TRANSFER EASEMENT			THE CORPORATION OF THE TOWNSHIP OF CHINGUACOUSY	C
43R14908	1987/09/03	PLAN REFERENCE				C
RO827626	1987/12/02	TRANSFER	\$839,790		PELLAS HOLDINGS LIMITED JOSEPH VITALE MANAGEMENT LIMITED PIERANTONI, VITTORIO	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

LAND  
REGISTRY  
OFFICE #43

14025-0027 (LT)

PREPARED FOR Shannon1  
ON 2022/06/03 AT 16:51:21

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
RO827626Z	1987/12/02	REST COV APL ANNEX				C
RO858505	1988/08/12	AGREEMENT			CITY OF BRAMPTON	C
		REMARKS: SITE PLAN; AMENDED BY RO1032619				
RO1011640	1992/07/13	NOTICE OF LEASE			ITALPASTA LIMITED	C
RO1011641	1992/07/13	CHARGE		*** COMPLETELY DELETED ***		
					BANCA COMMERCIALE ITALIANA OF CANADA	
RO1011642	1992/07/13	ASSIGNMENT LEASE		*** COMPLETELY DELETED ***		
		REMARKS: RO1011640			BANCA COMMERCIALE ITALIANA OF CANADA	
RO1013153	1992/07/30	RELEASE				C
		REMARKS: PARTIAL, RO827262				
RO1074157	1994/08/31	AGREEMENT			THE CITY OF BRAMPTON	C
		REMARKS: SITE PLAN				
RO1083013	1995/01/12	LIEN		*** COMPLETELY DELETED ***		
RO1084688	1995/02/03	LIEN		*** COMPLETELY DELETED ***		
RO1084745	1995/02/07	LIEN		*** COMPLETELY DELETED ***		
RO1085071	1995/02/13	LIEN		*** COMPLETELY DELETED ***		
RO1085128	1995/02/14	LIEN		*** COMPLETELY DELETED ***		
RO1085280	1995/02/16	CERTIFICATE		*** COMPLETELY DELETED ***		
RO1085768	1995/02/24	LIEN		*** COMPLETELY DELETED ***		
RO1086664	1995/03/10	CERTIFICATE		*** COMPLETELY DELETED ***		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
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14025-0027 (LT)

PREPARED FOR Shannon1  
ON 2022/06/03 AT 16:51:21

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
RO1086807	1995/03/15	LIEN		*** COMPLETELY DELETED ***		
RO1086850	1995/03/15	LIEN		*** COMPLETELY DELETED ***		
RO1086866	1995/03/15	CERTIFICATE		*** COMPLETELY DELETED ***		
RO1087138	1995/03/21	LIEN		*** COMPLETELY DELETED ***		
RO1087677	1995/03/30	CERTIFICATE		*** COMPLETELY DELETED ***		
RO1087686	1995/03/30	CERTIFICATE		*** COMPLETELY DELETED ***		
RO1088330	1995/04/11	LIEN		*** COMPLETELY DELETED ***		
RO1089125	1995/04/26	CERT A CONST LIEN		*** COMPLETELY DELETED ***		
	<i>REMARKS: RO1085768</i>					
RO1089484	1995/05/01	CERTIFICATE		*** COMPLETELY DELETED ***		
RO1170004	1998/05/11	TRANSFER	\$1,254,796	739572 ONTARIO LIMITED	JOSEPH VITALE MANAGEMENT LIMITED	C
RO1170005	1998/05/11	TRANSFER	\$1,254,796	PELLAS HOLDING LTD.	JOSEPH VITALE MANAGEMENT LIMITED	C
RO1170006	1998/05/11	CHARGE		*** DELETED AGAINST THIS PROPERTY *** JOSEPH VITALE MANAGEMENT LIMITED	THE BANK OF NOVA SCOTIA	
RO1170228	1998/05/15	CHARGE		*** DELETED AGAINST THIS PROPERTY *** JOSEPH VITALE MANAGEMENT LIMITED	739572 ONTARIO LIMITED	
RO1170229	1998/05/15	CHARGE		*** DELETED AGAINST THIS PROPERTY *** JOSEPH VITALE MANAGEMENT LIMITED	PELLAS HOLDING LTD.	
RO1170230	1998/05/15	CHARGE		*** DELETED AGAINST THIS PROPERTY ***		

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\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
LT1900592	1998/12/29	TRANSFER OF CHARGE		JOSEPH VITALE MANAGEMENT LIMITED *** COMPLETELY DELETED *** PEROVIC, BOZIDAR	PEROVIC, BOZIDAR  VITALE, JOSEPH	
	REMARKS: RO1170230					
LT2050937	2000/03/01	APL COURT ORDER		*** COMPLETELY DELETED *** JOSEPH VITALE MANAGEMENT LIMITED		
	REMARKS: DELETES RO1084745, RO1086664 AND RO1086807					
LT2057426	2000/03/27	NOTICE		HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF TRANSPORT CANADA		C
	REMARKS: PEARSON AIRPORT ZONING REGULATION					
LT2083335	2000/06/08	APL (GENERAL)		*** COMPLETELY DELETED *** FALCO STEEL FABRICATORS INC.		
	REMARKS: RO1083013, RO1085280, RO1084688, RO1086850, RO1085071, RO1087686, RO1085128, RO1087677, RO1085768, RO1089125, RO1087138, RO1089484, RO1088330, LT1086866					
PR68041	2001/04/18	DISCH OF CHARGE		*** COMPLETELY DELETED *** VITALE, JOSEPH		
	REMARKS: RE: RO1170230					
PR68042	2001/04/18	TRANSFER OF CHARGE		*** COMPLETELY DELETED *** BANCA COMMERCIALE ITALIANA OF CANADA	THE BANK OF NOVA SCOTIA	
	REMARKS: CHARGE NO. RO1011641					
PR68043	2001/04/18	NOTICE		*** COMPLETELY DELETED *** BANCA COMMERCIALE ITALIANA OF CANADA	THE BANK OF NOVA SCOTIA	
	REMARKS: RO1011640, RO1011641, RO1011642, PR68042					
PR68044	2001/04/18	NOTICE AGREEMENT		*** COMPLETELY DELETED *** JOSEPH VITALE MANAGEMENT LIMITED	THE BANK OF NOVA SCOTIA	
	REMARKS: RO1011641, PR68042					
PR148974	2001/10/03	DISCH OF CHARGE		*** COMPLETELY DELETED *** PELLAS HOLDING LTD.		
	REMARKS: RE: RO1170229					
PR317892	2002/09/23	APL (GENERAL)		THE CORPORATION OF THE CITY OF BRAMPTON		C
PR860639	2005/06/01	BYLAW		THE CORPORATION OF THE CITY OF BRAMPTON		C
	REMARKS: BY-LAW # 143-2005 TO REPEAL BY-LAWS EXEMPTING LANDS FROM PT LT CONTROL					

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

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14025-0027 (LT)

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ON 2022/06/03 AT 16:51:21

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REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
PR1958827	2011/02/04	NOTICE	\$2	THE CORPORATION OF THE CITY OF BRAMPTON		C
PR2386823	2013/06/21	NOTICE		*** COMPLETELY DELETED *** JOSEPH VITALE MANAGEMENT LIMITED	THE BANK OF NOVA SCOTIA	
		REMARKS: RO1170006				
PR2386842	2013/06/21	NO ASSGN RENT GEN		*** COMPLETELY DELETED *** JOSEPH VITALE MANAGEMENT CORPORATION	THE BANK OF NOVA SCOTIA	
		REMARKS: RO1170006.				
PR2410779	2013/08/01	DISCH OF CHARGE		*** COMPLETELY DELETED *** 739572 ONTARIO LIMITED		
		REMARKS: RO1170228.				
PR2415757	2013/08/14	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE BANK OF NOVA SCOTIA		
		REMARKS: RO1011641.				
PR3110193	2017/04/13	CHARGE	\$10,550,000	JOSEPH VITALE MANAGEMENT LIMITED	HSBC BANK CANADA	C
PR3110194	2017/04/13	NO ASSGN RENT GEN		JOSEPH VITALE MANAGEMENT LIMITED	HSBC BANK CANADA	C
		REMARKS: PR3110193.				
PR3111062	2017/04/18	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE BANK OF NOVA SCOTIA		
		REMARKS: RO1170006.				
43R37765	2017/06/27	PLAN REFERENCE				C
PR3217112	2017/10/12	NOTICE		THE REGIONAL MUNICIPALITY OF PEEL		C
		REMARKS: VS344874				
43R39602	2020/09/16	PLAN REFERENCE				C

LAND  
REGISTRY  
OFFICE #43

14025-0028 (LT)

PREPARED FOR Shannon1  
ON 2022/06/03 AT 16:51:57

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT BLK U PL 977 CHINGUACOUSY; PT BLK S PL 977 CHINGUACOUSY PTS 1 TO 4, 43R15880 ; S/T R0854797, VS344874; CITY OF BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE  
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 14025-0215

PIN CREATION DATE:

1998/12/21

OWNERS' NAMES

1960526 ONTARIO INC.

CAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
<p><b>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/06/24 ON THIS PIN**</b></p> <p><b>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/12/21**</b></p> <p><b>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/12/21 **</b></p> <p><b>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</b></p> <p><b>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</b></p> <p><b>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</b></p> <p><b>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</b></p> <p><b>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</b></p> <p><b>** CONVENTION.</b></p> <p><b>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</b></p> <p><b>**DATE OF CONVERSION TO LAND TITLES: 1998/12/22 **</b></p>						
VS204279	1972/03/22	AGREEMENT			THE CORPORATION OF THE TOWNSHIP OF CHINGUACOUSY	C
REMARKS: DELETED FROM 14024 0225 BY VMIKLOSKA 2003 12 23						
VS260858	1973/05/15	AGREEMENT			THE CORPORATION OF THE TOWNSHIP OF CHINGUACOUSY	C
REMARKS: SKETCH ATTACHED.						
VS264566	1973/06/06	BYLAW EX PART LOT				C
VS344874	1975/03/10	TRANSFER EASEMENT			THE CORPORATION OF THE TOWNSHIP OF CHINGUACOUSY	C
43R14908	1987/09/03	PLAN REFERENCE				C
43R15880	1988/07/08	PLAN REFERENCE				C
R0854797	1988/07/18	TRANSFER EASEMENT			THE REGIONAL MUNICIPALITY OF PEEL	C

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LAND  
REGISTRY  
OFFICE #43

14025-0028 (LT)

PREPARED FOR Shannon1  
ON 2022/06/03 AT 16:51:57

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
RO855815	1988/07/26	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	SCHAEFER SYSTEM INTERNATIONAL LIMITED	
RO855815Z	1988/07/26	REST COV APL ANNEX		*** COMPLETELY DELETED ***		
RO861492	1988/08/31	RELEASE				C
	<i>REMARKS: VS260858</i>					
RO878197	1989/01/06	AGREEMENT			CITY OF BRAMPTON	C
LT2057426	2000/03/27	NOTICE		HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF TRANSPORT CANADA		C
	<i>REMARKS: PEARSON AIRPORT ZONING REGULATION</i>					
43R25036	2001/01/24	PLAN REFERENCE				C
PR860639	2005/06/01	BYLAW		THE CORPORATION OF THE CITY OF BRAMPTON		C
	<i>REMARKS: BY-LAW # 143-2005 TO REPEAL BY-LAWS EXEMPTING LANDS FROM PT LT CONTROL</i>					
PR1825856	2010/05/26	NOTICE OF LEASE		*** COMPLETELY DELETED *** ITALPASTA LIMITED	SCHAEFER SYSTEM INTERNATIONAL LIMITED	
PR1958827	2011/02/04	NOTICE	\$2	THE CORPORATION OF THE CITY OF BRAMPTON		C
PR1963425	2011/02/16	NOTICE		*** COMPLETELY DELETED *** THE REGIONAL MUNICIPALITY OF PEEL		
PR2641158	2014/12/02	APL DELETE REST		*** COMPLETELY DELETED *** SCHAEFER SYSTEM INTERNATIONAL LIMITED		
	<i>REMARKS: RO855815Z.</i>					
PR2668189	2015/01/30	TRANSFER		*** COMPLETELY DELETED *** SCHAEFER SYSTEM INTERNATIONAL LIMITED	1895377 ONTARIO INC.	
	<i>REMARKS: PLANNING ACT STATEMENTS.</i>					
PR2670352	2015/02/05	APL (GENERAL)		*** COMPLETELY DELETED *** ITALPASTA LIMITED		
	<i>REMARKS: DELETES PR1825856</i>					
PR2689203	2015/03/25	NOTICE		THE REGIONAL MUNICIPALITY OF PEEL		C
	<i>REMARKS: RO854797</i>					

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

LAND  
REGISTRY  
OFFICE #43

14025-0028 (LT)

PREPARED FOR Shannon1  
ON 2022/06/03 AT 16:51:57

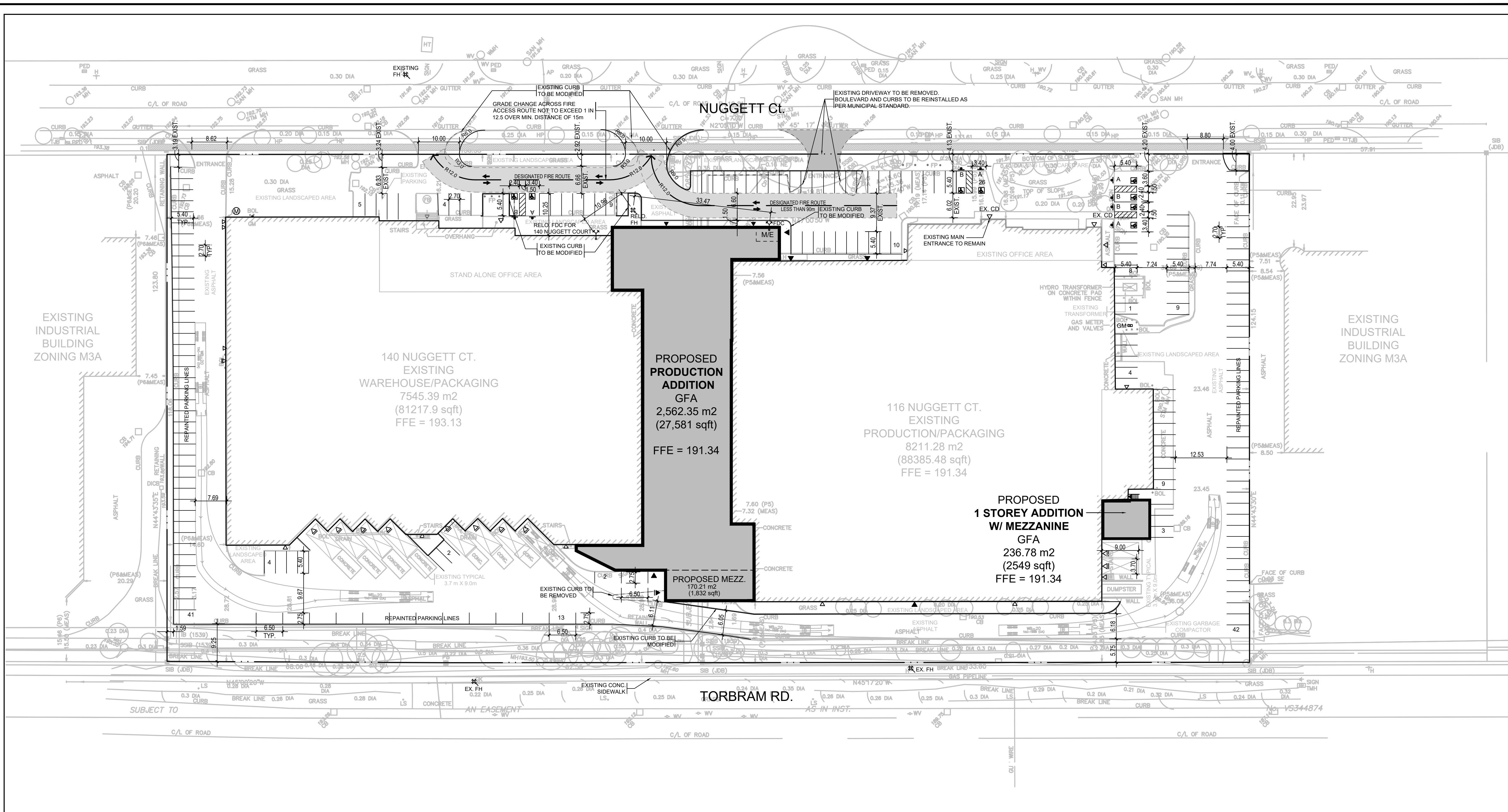
\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR2689204	2015/03/25	APL (GENERAL)		*** COMPLETELY DELETED *** THE REGIONAL MUNICIPALITY OF PEEL		
	REMARKS: PR1963425					
PR2977223	2016/08/26	TRANSFER		1895377 ONTARIO INC.	1960526 ONTARIO INC.	C
43R37765	2017/06/27	PLAN REFERENCE				C
PR3217112	2017/10/12	NOTICE		THE REGIONAL MUNICIPALITY OF PEEL		C
	REMARKS: VS344874					
43R39602	2020/09/16	PLAN REFERENCE				C

# TAB E



No.	ISSUED	DATE
1	ISSUED FOR CLIENT REVIEW	OCT. 07, 2019
2	ISSUED FOR CLIENT REVIEW	DEC. 28, 2019
3	ISSUED FOR PAC MEETING	MAR. 10, 2020
4	ISSUED FOR SPA	NOV. XXX, 2020



No.	REVISION	DATE
-----	----------	------



30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7  
T. 905.660.0722 | www.baldassarra.ca

Firm Name: Baldassarra Architects Inc.  
Certificate of Practice Number: 5810  
30 Great Gulf Drive, Unit 20  
Concord, ON L4K 0K7  
Tel: (905) 660-0722  
Fax: (905) 660-7019

Name of Project: 116 Nuggett Court,  
Location: Brampton, Ontario

Ontario's 2012 Building Code Data Matrix Part 3

PROJECT DESCRIPTION:  NEW,  ADDITION,  CHANGE OF USE,  ALTERATION

MAJOR OCCUPANCY GROUP: F2

BUILDING AREA (m2): EXISTING: 8,211.28, NEW: 2,510.53, TOTAL: 10,721.81  
GROSS AREA (m2): EXISTING: 10,546.17, NEW: 2,799.13, TOTAL: 13,345.30  
NO. OF STOREYS: ABOVE GRADE: ONE, BELOW GRADE: N/A  
MEZZANINE: YES

HEIGHT OF BUILDING (m): ~8.0 (US of Deck)

NUMBER OF STREETS / ACCESS ROUTES: ONE

BUILDING CLASSIFICATION: 3.2.2.69 / Table 3.2.2.69B

SPRINKLER SYSTEM PROPOSED:  ENTIRE BUILDING,  BASEMENT ONLY,  IN LIEU OF ROOF RATING,  NOT REQUIRED

STANDPIPE REQUIRED:  YES,  NO

FIRE ALARM REQUIRED:  YES,  NO

WATER SERVICE / SUPPLY IS ADEQUATE:  YES,  NO

HIGH BUILDING:  YES,  NO

PERMITTED CONSTRUCTION	COMBUSTIBLE	NON COMBUSTIBLE	BOTH	3.2.2.20-83				
MEZZANINE AREA (m2):	288.60			3.2.1.1 (3)-(8)				
OCCUPANT LOAD BASED ON 1ST FLOOR OCCUPANCY:	F2	m2 / PERSON	DESIGN OF BUILDING	3.1.1.7				
MEZZANINE OCCUPANCY:	F2	LOAD: T.B.D.	PERSONS					
BARRIER FREE DESIGN	YES	NO (EXPLAIN)		3.8				
HAZARDOUS SUBSTANCES	YES	NO		3.3.1.2 & 3.3.1.19				
REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES			LISTED DESIGN NO. OR DESCRIPTION (SB-2)				
FLOORS:	1	HOURS		3.2.2.20-83 & 3.2.1.4				
ROOF:	N/A	HOURS						
MEZZANINE:	1	HOURS						
FRR OF SUPPORTING MEMBERS	LISTED DESIGN NO. OR DESCRIPTION (SB-2)							
FLOORS:	1	HOURS						
ROOF:	N/A	HOURS						
MEZZANINE:	1	HOURS						
SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3							
WALL AREA OF EBF Max. Unit	L.D. (m)	L.H. or H.L.	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST. PERMITTED	NON-COMB. CLADDING REQUIRED
NORTH	<12	N/A	0	0	4	290mm BLOCK	NO	YES
SOUTH	16.02	>15	N/A	N/A	N/A	N/A	N/A	N/A
EAST	28.64	>15	N/A	N/A	N/A	N/A	N/A	N/A
WEST	33.42	>15	N/A	N/A	N/A	N/A	N/A	N/A

SYMBOL LEGEND
MAN DOOR LOCATIONS
LOADING DOCK LOCATIONS
DRIVE-IN OR OVERHEAD DOORS
HYDRANT-VALVE
CATCH BASIN
DOUBLE CATCH BASIN
SANITARY MANHOLE
CATCH BASIN / MANHOLE
STORM MANHOLE
HYDRO POLE STANDARD / UTILITY POLE
BICYCLE RING (0.6m x 1.8m x 1.9m H. (2 BIKES PER RING))
HYDRO TRANSFORMER
GAS METERS
DIRECTION OF TRAFFIC FLOW
SNOW STORAGE AREA
ACCESSIBLE PARKING SPACE (A & B)
REFUSE STORAGE BINS
LIGHT STANDARD (TYP)
CURB RAMP (SEE CURB RAMP DETAIL)
LOADING SPACE 14.0 m x 3.5 m x 3.35 m H
CONC. FILLED STEEL BOLLARD
FIRE DEPARTMENT / SIAMSE CONNECTION
HANDICAP SIGNAGE (SEE ACCESSIBLE SIGN REQ)
BENCH & WASTE RECEPTACLE (SEE LANDS)
FIRE ROUTE SIGN "30°45°" to face parallel to traffic flow mounted on a pole or mounted to building face.
STOP SIGN
PAINTED STOP BAR
PROPOSED LANDSCAPED ISLAND W/ CONC. CURB
PROPOSED GRADES

SITE STATISTICS	REQUIRED	PROVIDED
PARKING SPACES (2.70m X 5.4m TYP.)		
TOTAL GFA = 13,368.09 m2		
INDUSTRIAL USE:		
10,000 m2 or more GFA	159 Spaces	
1,500 spaces, plus 110 m2 GFA - 10,000		
13,368.09 - 10,000 = 3,368.09 m2		
139 x (3,368.09 / 110) = 419 Spaces		
TOTAL GFA = 6,683.87 m2		
WAREHOUSE USE:		
7,000 m2 or less GFA	74 Spaces	
1,500 m2 GFA		
6,683.87 / 150 = 44.5 = 44 Spaces		
TOTAL GFA = 861.52 m2		
OFFICE USE:		
1,025 m2 GFA	35 Spaces	
861.52 / 25 = 34.5 = 35 Spaces		
TOTAL PARKING	268 Spaces	192 Spaces
ACCESSIBLE PARKING		
251-300 A Type 'A' & 4 Type 'B' spaces	8 Spaces	8 Spaces
LOADING SPACE (3.7mX9m)		
GFA THAT IS:		
14,000 m2 or more: 3 spaces, plus 1/3000m2	4 Spaces	10 Spaces
ACCESSIBLE PARKING SIGNAGE		
TYPE A		
300mm x 675mm RIGID ALUMINUM REFLECTIVE ENFORCEMENT SIGN (0.063 WHITE ALUM.)		
TYPE B		
300mm x 600mm RIGID ALUMINUM REFLECTIVE ENFORCEMENT SIGN (0.063 WHITE ALUM.)		
MAXIMUM FINISH: \$3,990.00 For Enforcement call (905) 458-3424		
MAXIMUM FINISH: \$3,990.00 For Enforcement call (905) 458-3424		

KEY PLAN	CITY OF BRAMPTON	N.T.S.
ZONING	M3A	INDUSTRIAL THREE A   BY-LAW 204-2010
LOT FRONTAGE	30.0 m MIN	264.10m
FRONT YARD (NORTH)	9.00 m MIN	13.09 m
SIDE YARD (WEST)	6.00 m MIN	22.00 m
SIDE YARD (EAST)	7.60 m MIN	23.44 m
REAR YARD (SOUTH)	7.60 m MIN	14.61 m
BUILDING HEIGHT	2 Storeys	2 Storeys
BUILDING G.F.A.		
140 NUGGETT COURT (EXISTING):		
WAREHOUSE SPACE	6,683.87 m2	or 71,945 sqft
STAND ALONE OFFICE SPACE	861.52 m2	or 9,273 sqft
140 NUGGETT CT. GFA (EXISTING)	7,545.39 m2	or 81,218 sqft
116 NUGGETT COURT (EXISTING):		
PRODUCTION/PACKAGING AREA	9,750.35 m2	or 104,952 sqft
ACCESSORY OFFICE SPACE	795.82 m2	or 8,566 sqft
116 NUGGETT CT. GFA (EXISTING)	10,546.17 m2	or 113,518 sqft
PROPOSED ADDITION	2,414.72 m2	or 25,992 sqft
PROPOSED NEW MEZZANINE	170.20 m2	or 1,832 sqft
PROPOSED 2 STOREY ADDITION	237.00 m2	or 2,551 sqft
PROPOSED 116 NUGGETT CT. GFA	13,368.09 m2	or 143,893 sqft
SITE COVERAGE	18,578.60 m2	or 56.69 %
PAVED AREA	9,432.09 m2	or 28.79 %
LANDSCAPE AREA- OPEN SPACE	4,756.67 m2	or 14.52 %

LEGAL DESCRIPTION

PLAN OF SURVEY OF PART OF BLOCKS S AND U REGISTERED PLAN No. 977 CITY OF BRAMPTON REGION MUNICIPALITY OF PEEL

AS PREPARED BY J.D. BARNES LIMITED NOV. 26, 2019

SITE PLAN

TRUE NORTH PROJECT NORTH

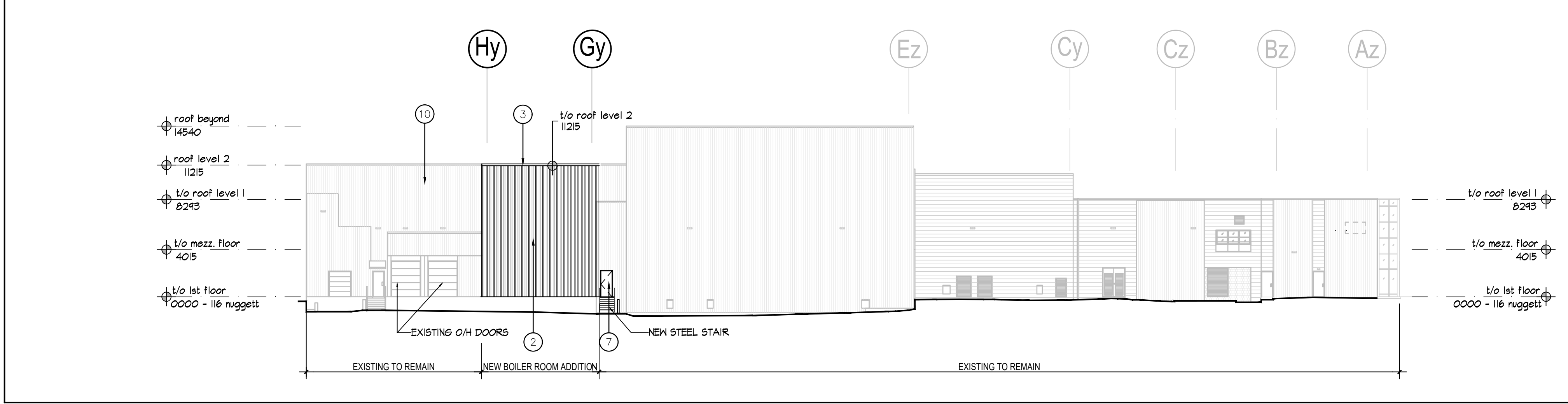
# 116 NUGGETT COURT ADDITION

116 NUGGETT CT  
BRAMPTON, ON

DATE:	DRAWN BY:	CHECKED:	SCALE:
JAN. 2020	Ik		1:500
PROJECT No.	DRAWING No.		
20-45			A-1.0

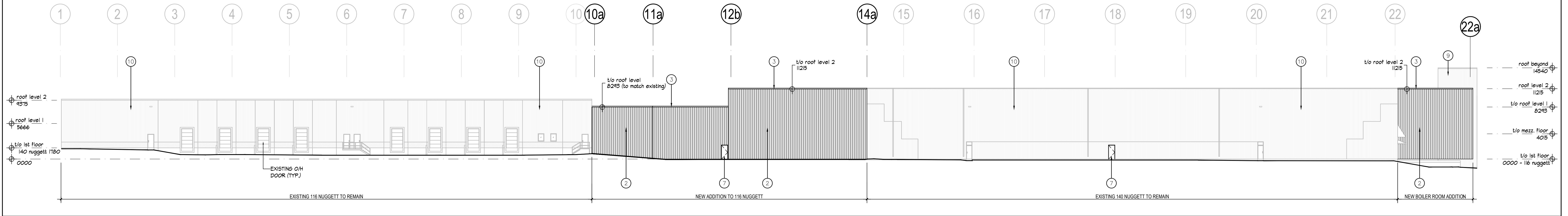
C:\2045 116 & 140 Nuggett Court - Ialpaista\Drawings\01 Current Drawings\2045 A - 1.0.dwg, 2020-12-03 4:31:18 PM, Louis, DWG to PDF.pc3



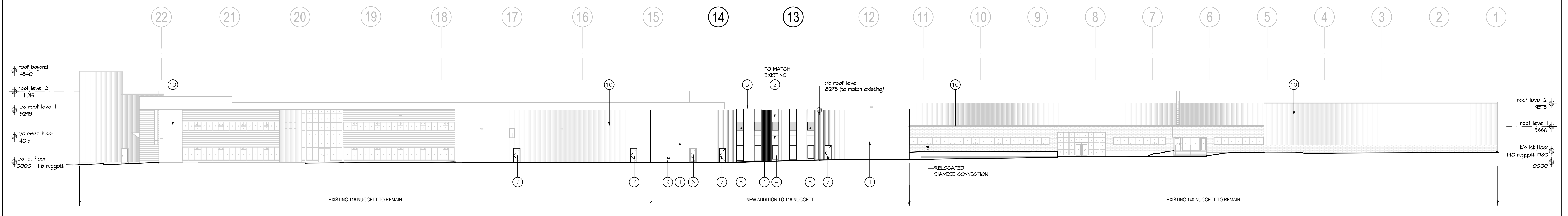


- EXTERIOR FINISH SCHEDULE**
- 1 INSULATED PRECAST PANELS. COLOUR TO FUTURE SELECTION BY THE ARCHITECT (TO MATCH EXISTING / ADJACENT)
  - 2 PREFINISHED METAL SIDING. COLOUR TO FUTURE SELECTION BY THE ARCHITECT (TO MATCH EXISTING / ADJACENT)
  - 3 PREFINISHED METAL FLASHING. COLOUR TO MATCH ADJACENT MATERIAL
  - 4 TINTED THERMAL GLAZING IN CLEAR ANODIZED CURTAIN WALL FRAMES. COLOUR OF GLAZING TO FUTURE SELECTION BY THE ARCHITECT.
  - 5 SPANDREL GLAZING IN CLEAR ANODIZED CURTAIN WALL FRAMES. COLOUR OF SPANDREL TO FUTURE SELECTION BY THE ARCHITECT.
  - 6 CLEAR THERMAL GLASS IN CLEAR ANODIZED ALUMINUM FRAME DOOR(S)
  - 7 INSULATED HOLLOW METAL DOOR IN THERMAL PRESSED STEEL FRAME. COLOUR OF DOOR AND FRAME TO MATCH ADJACENT
  - 8 PREFINISHED INSULATED O/H DOOR. COLOUR OF DOOR TO MATCH ADJACENT PRECAST.
  - 9 SIAMESE CONNECTION
  - 10 EXISTING TO REMAIN AS IS.

**3 East Elevation**  
A3.0 1:250



**2 South Elevation**  
A3.0 1:250



**1 North Elevation**  
A3.0 1:250

03/2020 - 116 & 140 Nuggett Court - 116 Italpasta Addition - A3.0

No.	ISSUED	DATE

No.	REVISION	DATE

**BALDASSARRA**  
Architects Inc.

200-7800 Jane St | Vaughan ON | L4K 4R6  
T. 905.660.0722 | [www.baldassarra.ca](http://www.baldassarra.ca)

OWNERS INFORMATION:



**116 ITALPASTA ADDITION**

116 NUGGETT CT.  
BRAMPTON, ON

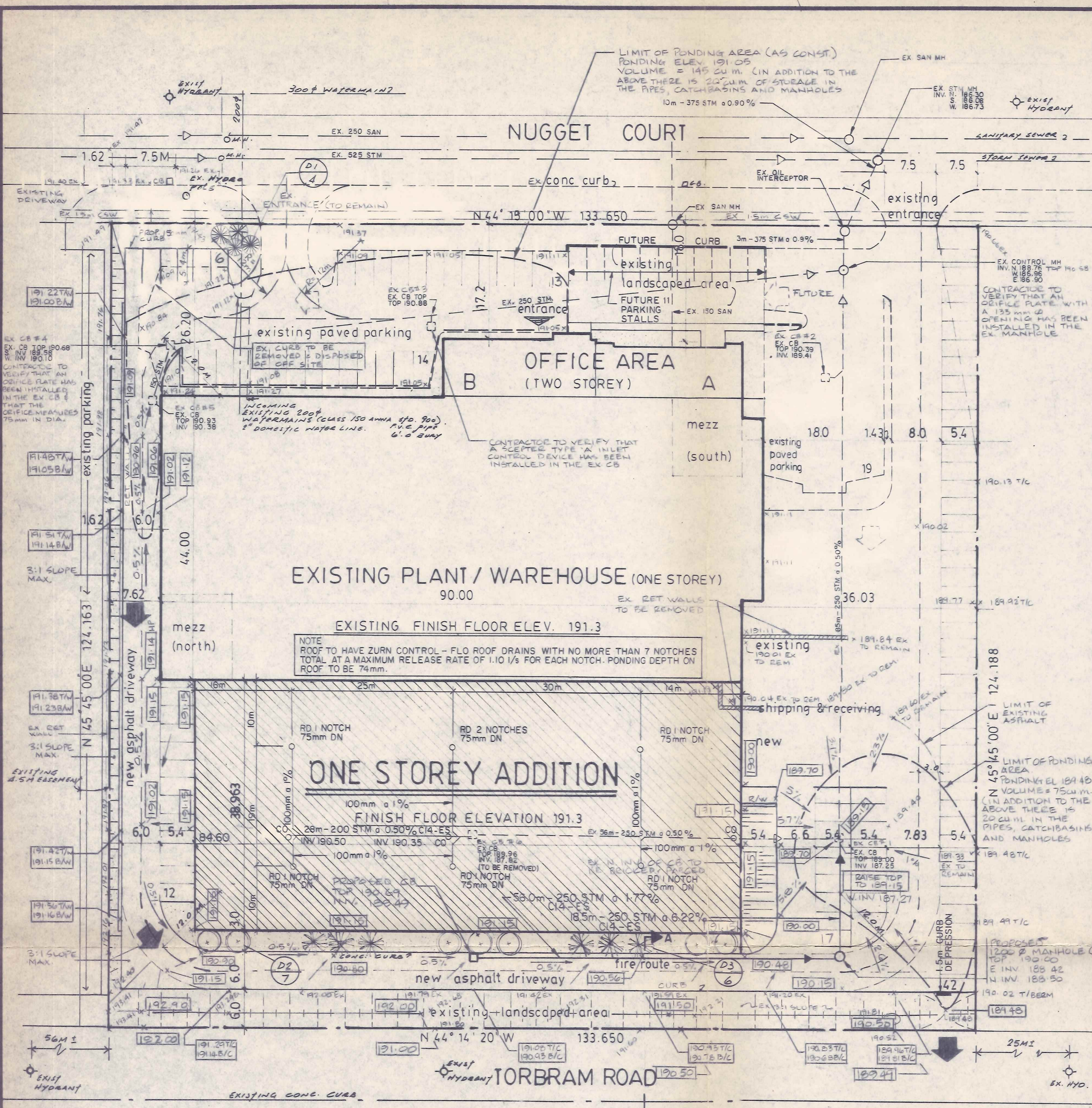
**ELEVATIONS**

DATE	DRAWN BY	CHECKED	SCALE
Oct 2020	ra		As Shown

PROJECT No. 20-45 DRAWING No. **A-3.0**

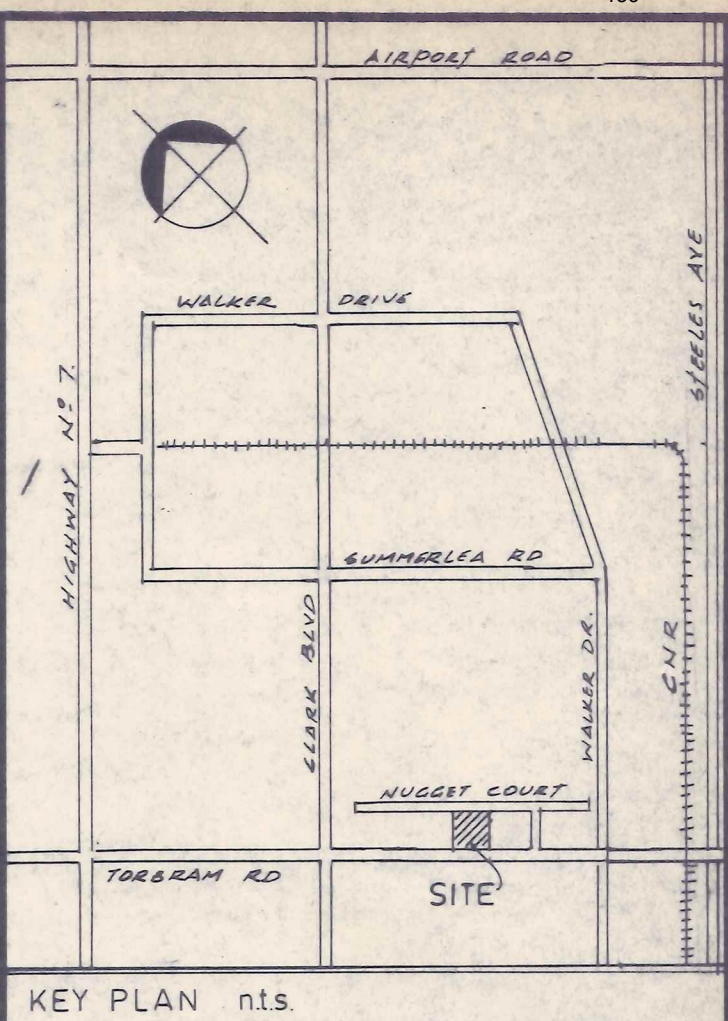
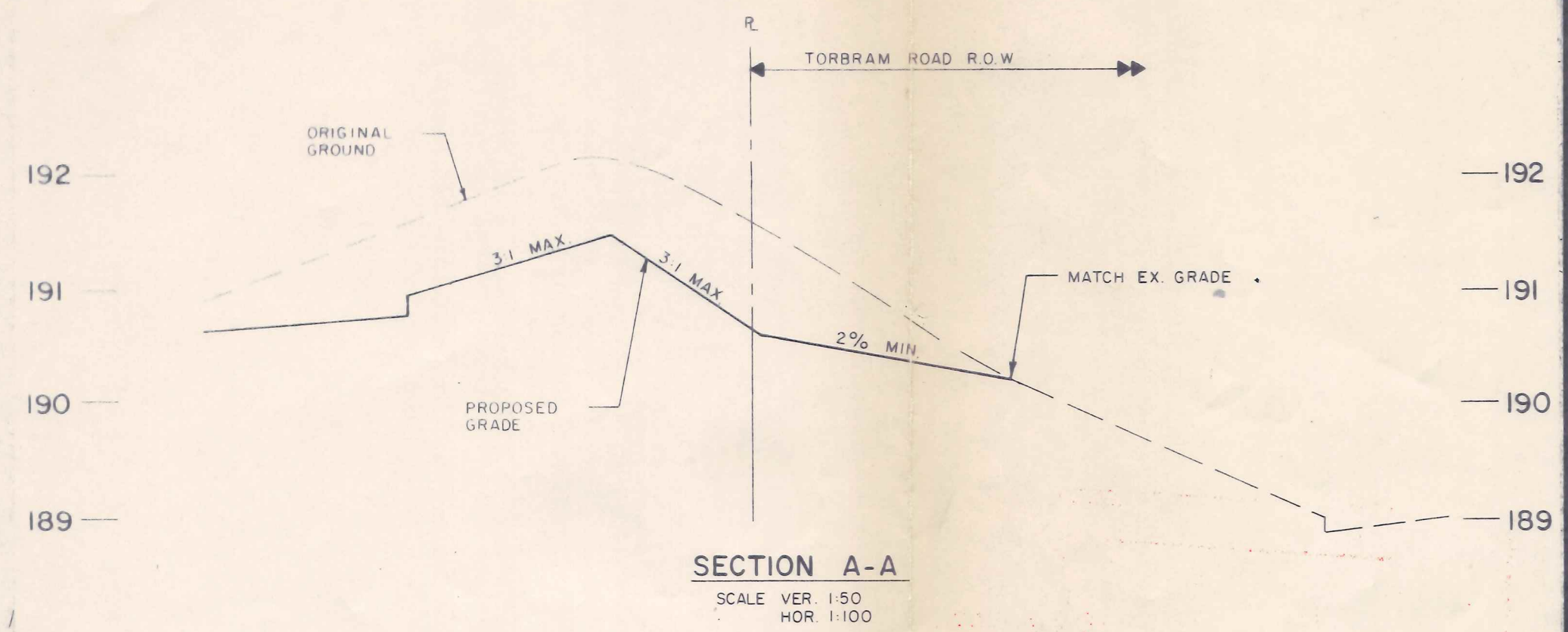
# TAB F





**GENERAL NOTES**

1. ALL GRADES TO BE WITHIN 3% MAXIMUM SLOPE AT PROPERTY LINE AND WITHIN THE SITE.
2. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED AND COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF PLUMBING PERMIT.
3. FIRE ROUTE SHALL BE DESIGNATED AS PER BY-LAW 1036-BI AS AMENDED, PRIOR TO OCCUPANCY OF BUILDING.
4. ALL FIRE ACCESS ROUTES SHALL BE CONSTRUCTED OF ASPHALT, CONCRETE OR LOCKSTONE AND DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 1136.3 KG PER M<sup>2</sup> AND HAVE A CHANGE OF GRADIENT OF NOT MORE THAN 1 TO 12.5 OVER A MINIMUM DISTANCE OF 15 M.
5. ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRAINGE ON ADJACENT PROPERTIES.
6. ON SITE GARBAGE COLLECTION WILL BE DONE THROUGH A PRIVATELY ARRANGED CONTRACTOR.
7. THE STORAGE OF GARBAGE IN OUTDOOR AREAS OR FREE STANDING BINS IS NOT PERMITTED.
8. ROOF TOP EQUIPMENT TO BE SCREENED.
9. ROOF TOP DRAINS TO BE CONTROLLED FLOW.
10. THE PORTIONS OF THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT (TYPICAL).
11. UNDEVELOPED AREA TO BE FINE GRADED, TOPSOILED, AND SEEDDED. TO BE WELL MAINTAINED BY THE OWNER.
12. At all entrances to the site the road curb and sidewalk will be continuous through the driveway, the driveway grade will be compatible with the existing sidewalk and curb depression as per City of Brampton Standard 237.
13. Sidewalk to be removed and replaced as per O.P.S.D. 303.03.
14. The building sited on this plan has been designed utilizing controlled flow roof drains in accordance with local municipal standards.
15. All surface drainage shall be self contained, collected and discharged at a location to be approved prior to the issuance of a building permit. Drainage of abutting properties shall not be adversely affected.
16. Road occupancy permit must be obtained 48 hours prior to commencing any works within the municipal road allowance.
17. Storm sewers (private sewers and/or within R.O.W.) and connections 200 diameter and larger to be concrete C.I.E.S or concrete C.I.I.I with type 'B' bedding throughout except at risers, unless otherwise noted.
18. All catchbasin manholes to have a minimum 0.3 metre sump and top as per municipal standards.
19. The service connection trench within the travelled portion of the road allowance shall be backfilled with unshrinkable fill.
20. All the construction work for this project shall comply with the Standard Drawings and Specifications of the City of Brampton and the Ontario Provincial Standards and Specifications.
21. All exposed roof drain leaders to be cast iron to CSA B70. Roof leaders below slab to be PVC to CSA B182.1.



SURVEY INFORMATION SHOWN IS TAKEN FROM SURVEY SHOWING PART OF BLOCKS S&U REGISTERED PLAN N° 977 CITY OF BRAMPTON - REGION. MUNICIPALITY OF PEEL 1:500 SURVEYOR: J.D. BARNES LTD. O.L.S. SEPT. 3, 1987 SOIL REPORT: LAWRENCE FLEMMING & ASSOC. LTD. SEPT. 10, 1987

**SITE STATISTICS:**

ZONING	M3A	MAX. HGT.	15 M
SETBACKS		side & rear	7.6 M
AREA OF SITE (4 ACRES)	16,191.00 M <sup>2</sup>		
AREA OF BUILDING			
EXISTING OFFICE A	380.58 M <sup>2</sup>		
B	350.00 M <sup>2</sup>		
PLANT/ WAREHOUSE	2,054.78 M <sup>2</sup>	730.58 M <sup>2</sup>	(2256.4 M <sup>2</sup> )
	2,080.00 M <sup>2</sup>	+ 40.3 + mezz	136.08 (north)
	4,311.16 M <sup>2</sup>	(incl. south mezz 133.18 M <sup>2</sup> )	
ADDITION:			
WAREHOUSE:	3296.3 M <sup>2</sup>	= 35,480 s.f.	
PARKING	275 x 5.4		
REQUIRED:			
OFFICE:	730.58 / 31	= 23.57	24
PLANT:	2,054.78 / 45	= 45.66	46
WAREHOUSE:	5,552.7 / 91	= 61.00	61
PROVIDED:	123 parking stalls		131
	11 future parking		
	134 total		
FOOTPRINT AREA:	189.9 x 40016 + 40.3 x 3296.3 + 225.5 =	7,753.6 M <sup>2</sup>	
COVERAGE:	F.P. / SITE AREA =	47.89 %	
BUILDING AREA:	8338.04 M <sup>2</sup>	= 89,752.85 s.f.	
PAVED AREA:	6138.12 M <sup>2</sup>	= 37.91 %	
LANDSCAPED AREA:	2,299.28 M <sup>2</sup>	= 14.2 %	

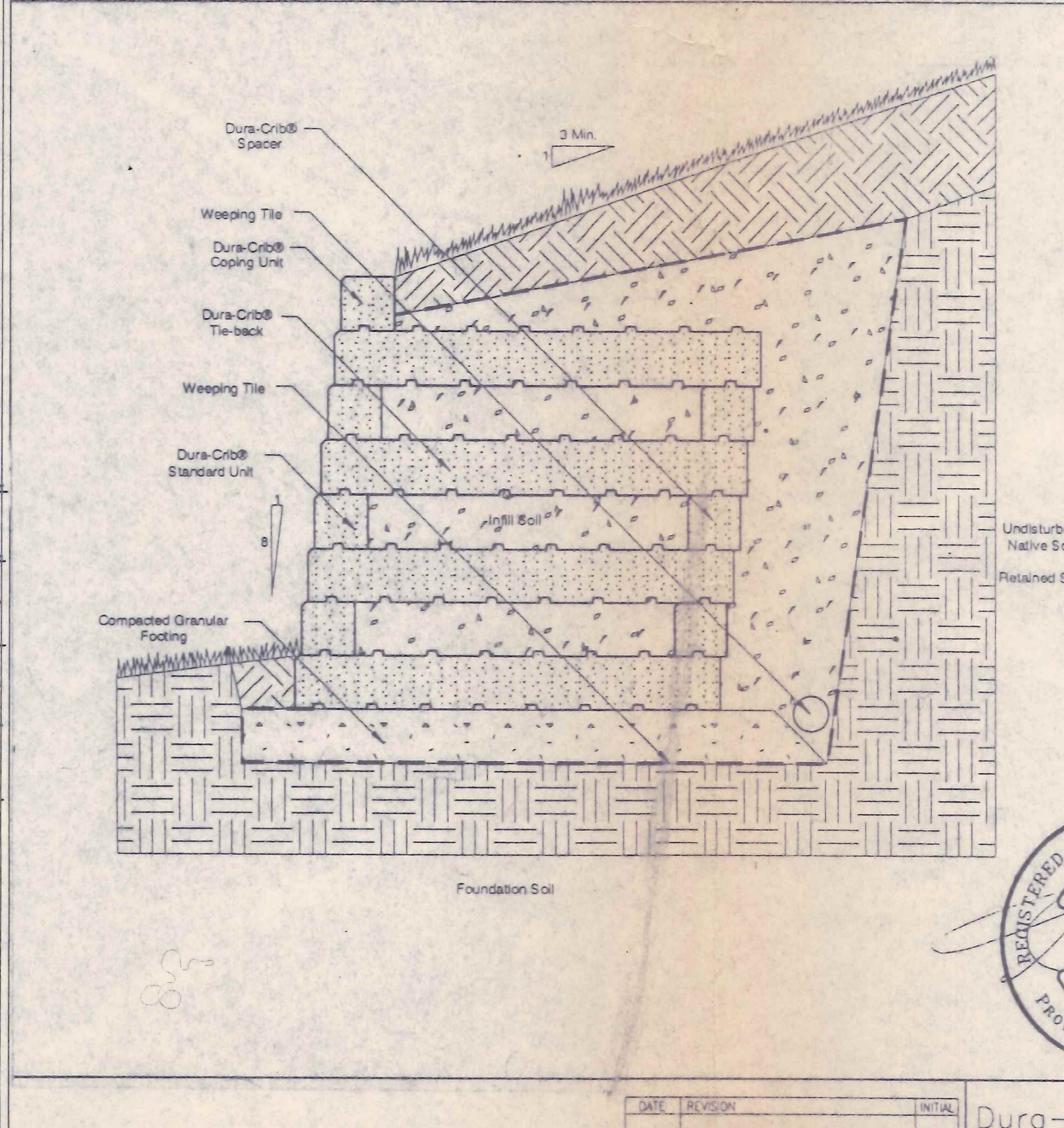
**BUILDING GROUP - F2 (O.B.C. 3.2.2.53)**  
INDUSTRIAL BUILDING Div.2  
EXISTING BUILDING IS SPRINKLERED  
ADDITION TO BE SPRINKLERED

**PLANT LIST**

KEY	N°	NAME	SIZE	REMARKS
D1	4	AUSTRIAN PINE - PINUS NIGRA	15M	B & B
D2	7	COLUMBIA NORWAY MAPLE - ACER NORWAY 'col'	10M	B & B
D3	6	COLORADO SPRUCE - PICEA PUNGENS	18M	A & B

**LEGEND**

	EXISTING ELEVATION
	PROPOSED ELEVATION
	PROPOSED DRAINAGE DIRECTION
	MAJOR SYSTEM FLOW ROUTE
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION



**The Dura-Crib System**

UNIT	COMPOSITION	WEIGHT
SLENDER	1200 x 180 x 100mm (8" x 6" x 4")	15.6kg (11.3lbs)
STANDARD	150 x 180 x 100mm (6" x 6" x 4")	6.1kg (4.3lbs)
SCREEN	1200 x 180 x 100mm (8" x 6" x 4")	12.9kg (9.2lbs)

Maximum Height of Wall: 2.0m  
Wall Finish: Concrete, Timber like  
Recommended Usage: Retain landscape/green walls, terraced walls, planter walls and stairs  
Dura-Crib Installation Notes:  
1. Walls to be used against undisturbed earth or compacted engineered fill.  
2. All soil and bearing capacity must exceed 144 kPa (1000 psf).  
3. First course of blocks to be founded on 180mm (6") of compacted granular gravel or concrete leveling pad where excavated, clear from undisturbed original ground.  
4. Walls to be embedded a minimum of 150mm (6") below grade.  
5. For all wall heights, the tie-backs shall be installed at 1500mm centres along vertically.  
6. Where the wall height is less than 1000mm, support units 600mm in length must be used between tie-back units along the full of the wall. For walls exceeding 1000mm in height, the support units must be 1200mm in length.  
7. Banks of soil to be one horizontal to eight vertical (1:8).  
8. Walls to be backfilled with free draining, non frost sensitive granular material, with less than 1% passing #20 sieve.  
9. Maximum required penetration to be 95% standard proctor density.  
10. Backfilling to be placed and compacted in layers not exceeding 150mm (6") in thickness.  
11. Tie-backs shall not be spaced three horizontal to one vertical (3:1).  
12. Proper drainage is required and installation of filter fabric and weeping tile is recommended.  
13. The top course or coping stone is to be secured to the wall with two steel or bolt heads placed on either side of the course.  
14. All installations should be reviewed by a professional engineer prior to construction. The soil conditions should be reviewed by a geotechnical engineer prior to construction.

**PROFESSIONAL ENGINEER**  
A. RISI  
MAY 1995  
PROVINCE OF ONTARIO

**CITY OF BRAMPTON PUBLIC WORKS DEPARTMENT**  
Road Occupancy/Access Permit required for all works within the road allowance including road access. Permit to be obtained at least 48 hours prior to commencement of the work.

**CITY OF BRAMPTON PUBLIC WORKS DEPARTMENT**  
Grading and drainage reviewed and found satisfactory.  
By: [Signature]  
Date: May 12 1995

no	revision	by	date
5	REVISIONS PER CITY COMMENTS	VG	MAY 8/95
4	FUTURE PARKING ADDED	KG	APR 18/95
3	DELETE RETAINING WALL WEST OF	PE	APR 11/95
2	REVISED NORTH ENTRANCE AND	PE	MAR 9/95
1	ROOF DRAIN PIPING LAYOUT	KM	JAN 94

**CITY OF BRAMPTON Planning & Building Department**  
SITE PLAN REVISION  
APPROVED  
[Signature]  
Director, Urban Design and Zoning

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE WORK.  
DRAWINGS ARE NOT TO BE SCALED

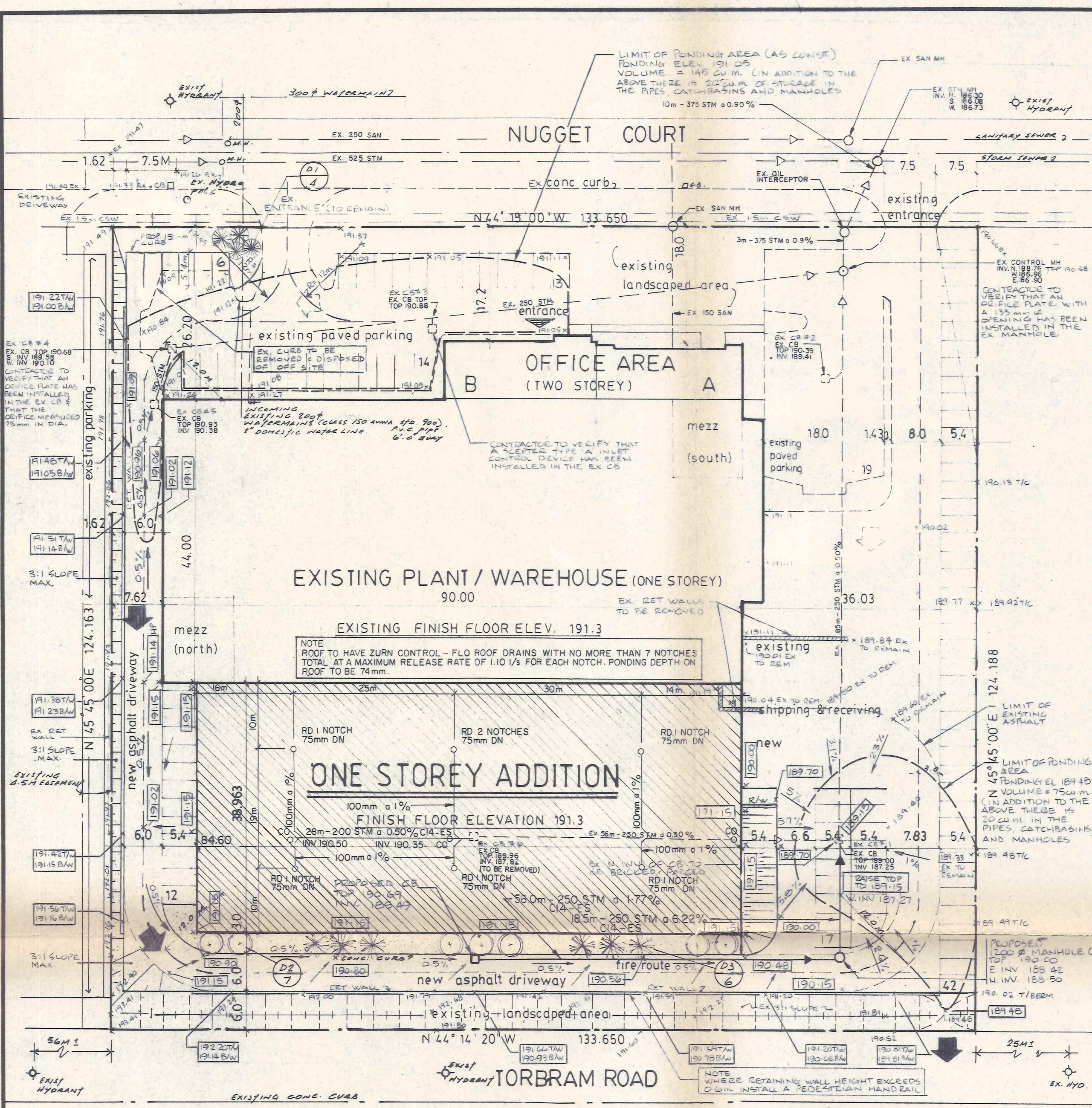
project ADDITION TO ITALPASTA 116 NUGGET COURT BRAMPTON ONTARIO

sheet title **SITE PLAN & DETAILS**  
drawn [Signature] scale 1:500 sheet no. A-1  
date AUG 93 proj. no.

APPROVED AS MODIFIED ( )  
REVISE AND RE-SUBMIT ( )  
NOT REVIEWED ( )  
"The proposed grading and drainage are approved as being in general conformity with the overall approved grading plans for the subdivision."  
The Engineer does not warrant or represent that the information contained on this drawing is either accurate or complete.  
Sole responsibility for correct design, details and dimensions shall remain with the party submitting the drawing.  
By: [Signature]  
Date: MAY 0 4 1995

atim inc. 486-485 design & planning consultants 20 Broadfield rd. willowdale city of north york ont. m2p 1c9  
P.T.A.L JOB No. 9514 B 9348





- GENERAL NOTES**
- ALL GRADES TO BE WITHIN 3% MAXIMUM SLOPE AT PROPERTY LINE AND WITHIN THE SITE.
  - ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED AND COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF PLUMBING PERMIT.
  - FIRE ROUTE SHALL BE DESIGNATED AS PER BY-LAW 1036-WI AS AMENDED, PRIOR TO OCCUPANCY OF BUILDING.
  - ALL FIRE ACCESS ROUTES SHALL BE CONSTRUCTED OF ASPHALT, CONCRETE OR LOCKSTONE AND DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 1136.3 MG PER AXLE AND HAVE A CHANGE OF GRADIENT OF NOT MORE THAN 1 TO 12.5 OVER A MINIMUM DISTANCE OF 15 M.
  - ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE ON ADJACENT PROPERTIES.
  - ON SITE GARBAGE COLLECTION WILL BE DONE THROUGH A PRIVATELY ARRANGED CONTRACTOR.
  - THE STORAGE OF GARBAGE IN OUTDOOR AREAS OR FREE STANDING BINS IS NOT PERMITTED.
  - ROOF TOP EQUIPMENT TO BE SCREENED.
  - ROOF TOP DRAINS TO BE CONTROLLED FLOW.
  - THE PORTIONS OF THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT (TYPICAL).
  - UNDEVELOPED AREA TO BE FINE GRADED, TOPSOILED, AND SEEDED. TO BE WELL MAINTAINED BY THE OWNER.
  - At all entrances to the site the road curb and sidewalk will be continuous through the driveway, the driveway grade will be compatible with the existing sidewalk and curb depression will be provided for each entrance. Access construction as per City of Brampton Standard 237.
  - Sidewalk to be removed and replaced as per O.P.S.D. 303.03.
  - The building sited on this plan has been designed utilizing controlled flow roof drains in accordance with local municipal standards.
  - All surface drainage shall be self contained, collected and discharged at a location to be approved prior to the issuance of a building permit. Drainage of abutting properties shall not be adversely affected.
  - Road occupancy permit must be obtained 48 hours prior to commencing any works within the municipal road allowance.
  - Storm sewers (private sewers and/or within R.O.W.) and connections 200 diameter and larger to be concrete C.I.E.S or concrete C.I.I.I with type 'B' bedding throughout except at risers, unless otherwise noted.
  - All catchbasin manholes to have a minimum 0.3 metre sump and top as per municipal standards.
  - The service connection trench within the travelled portion of the road allowance shall be backfilled with unshrinkable fill.
  - All the construction work for this project shall comply with the Standard Drawings and Specifications of the City of Brampton and the Ontario Provincial Standards and Specifications.
  - All exposed roof drain leaders to be cast iron to CSA B70. Roof leaders below slab to be PVC to CSA B182.1.

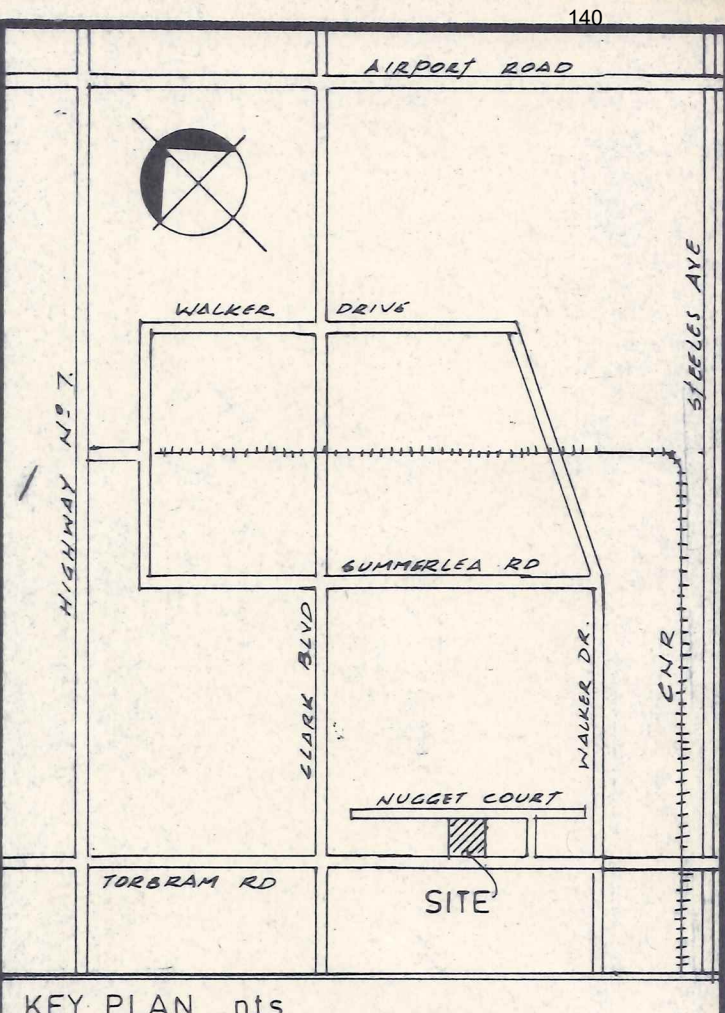
**CITY OF BRAMPTON  
PUBLIC WORKS DEPARTMENT**

Road Occupancy/Access Permit required for all works within the road allowance including road access. Permit to be obtained at least 48 hours prior to commencement of the work.

**CITY OF BRAMPTON  
PUBLIC WORKS DEPARTMENT**

Grading and drainage reviewed and found satisfactory.

By: *[Signature]*  
Date: *April 18/95*



SURVEY INFORMATION SHOWN IS TAKEN FROM SURVEY SHOWING PART OF BLOCKS S&U REGISTERED PLAN N° 977 CITY OF BRAMPTON - REGION. MUNICIPALITY OF PEEL 1:500 SURVEYOR: J.D. BARNES LTD. O.L.S. SEPT. 3, 1987 SOIL REPORT: LAWRENCE, FLEMMING & ASSOC. LTD. SEPT. 10, 1987

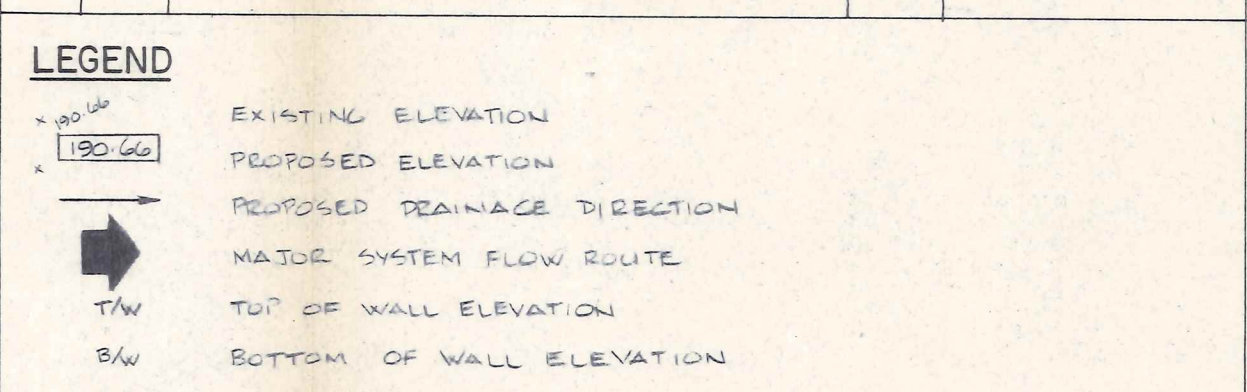
**SITE STATISTICS:**

ZONING	M3A	MAX. HGT.	15 M
SETBACKS	side & rear	7.6 M	
AREA OF SITE	(4 ACRES)	16,191.00 M <sup>2</sup>	
AREA OF BUILDING			
EXISTING OFFICE	A	380.58 M <sup>2</sup>	
	B	350.00 M <sup>2</sup>	
PLANT/WAREHOUSE		2,054.78 M <sup>2</sup>	730.58 M <sup>2</sup> (2256.4 M <sup>2</sup> )
		2,080.00 M <sup>2</sup> + 40.3 + mezz	136.08 (north)
		4,311.16 M <sup>2</sup> (incl. south mezz)	133.18 M <sup>2</sup>
ADDITION:			
WAREHOUSE:		3296.3 M <sup>2</sup>	= 35,480 s.f.
PARKING	275 x 5.4		
REQUIRED OFFICE		730.58 / 31 = 23.57	24
PLANT		2,054.78 / 45 = 45.66	46
WAREHOUSE		5,552.7 / 91 = 61.00	61
PROVIDED:	123 parking stalls		131

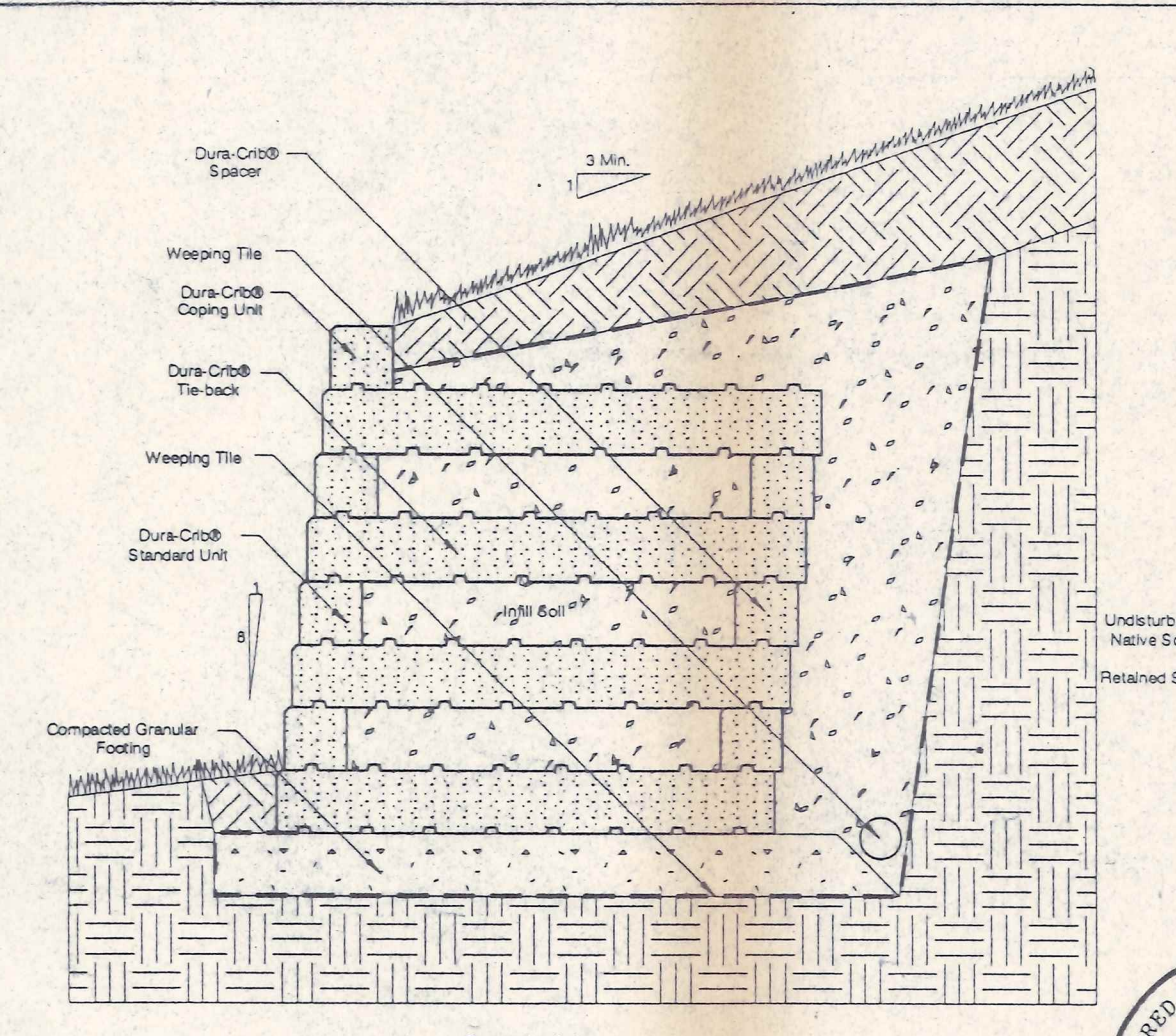
**BUILDING GROUP - F2 (O.B.C. 3.2.2.53)**  
INDUSTRIAL BUILDING Div 2  
EXISTING BUILDING IS SPRINKLERED  
ADDITION TO BE SPRINKLERED

**PLANT LIST**

KEY NO.	NAME	SIZE	REMARKS
D1	4. AUSTRIAN PINE - PINUS NIGRA	1.5M	22.0
D2	7. COLUMBIA HEDYCAE MAPLE - 150A PERAMBURDI' ON	70MM	22.0
D3	6. COLORADO SPRUCE - PICEA PENSILVANA	1.8M	22.0



FOOTPRINT AREA: 189.9 + 4001.6 + 40.3 + 3296.3 + 225.5 = 7,753.6 M<sup>2</sup>  
COVERAGE: F.P./SITE AREA = 47.89%  
BUILDING AREA: 8338.04 M<sup>2</sup> = 89,752.85 s.f.  
PAVED AREA: 6138.12 M<sup>2</sup> = 37.91%  
LANDSCAPED AREA: 2,299.28 M<sup>2</sup> = 14.2%



- The Dura-Crib System**
- | Units    | Dimensions                         | Weight          |
|----------|------------------------------------|-----------------|
| Slender  | 1200 x 180 x 150mm (48" x 7" x 6") | 13.5kg (30 lbs) |
| Standard | 1200 x 180 x 200mm (48" x 7" x 8") | 18.0kg (40 lbs) |
| Caping   | 1200 x 180 x 150mm (48" x 7" x 6") | 13.5kg (30 lbs) |
- Maximum Height of Wall: 1.2m
- Wall Finish: Concrete, Timber like
- Recommended Linings: Dura-Crib landscape garden walls, terraced walls, planter walls, and steps
- Dura-Crib Installation Notes:**
- Wall to be used against undisturbed earth or compacted engineered fill.
  - Allow soil bearing capacity must exceed that of a 2000' net.
  - Foundation of blocks to be founded on 100mm (4") of compacted, crushed gravel or concrete leveling pad where warranted, over firm undisturbed original ground.
  - Wall to be embedded a minimum of 150mm (6") below grade.
  - For tie wall heights, the tie-backs shall be installed at 1500mm centres along vertical.
  - When the wall height is less than 1200mm, support units 800mm in length must be used between tie-back units along the rear of the wall. For walls exceeding 1200mm in height, the support units must be 1200mm in length.
  - Back of wall to be one horizontal to eight vertical (1:8).
  - Wall to be backfilled with free draining, non frost susceptible granular material with less than 6% passing #20 sieve.
  - Minimum required compaction to be 92% standard proctor density.
  - Backfilling to be placed and compacted in layers not exceeding 150mm (6") in thickness.
  - Shale above wall not to exceed three horizontal to one vertical (3:1).
  - Positive drainage is required and installation of filter fabric and weeping tile is recommended.
  - The top course or coping stone is to be secured to the wall with two steel bolts (each) fastened on either side of the groove.
  - All installations should be reviewed by a professional engineer prior to construction. The soil conditions should be reviewed by a geotechnical engineer prior to construction.



DATE	REVISION	INITIALS

NOTE: UPON COMPLETION OF THE RETAINING WALL, A PROFESSIONAL ENGINEER SHALL CERTIFY THAT THE WORK HAS BEEN PERFORMED AS PER THE APPROVED DETAILS.

Dura-Crib Retaining Wall  
Ital Pasta Brampton, ON  
Scale: 1/8" = 1'-0"  
Date: Nov 1993  
Drawn: RDB  
File: 831119.DWG  
Check: [Signature]  
Drawing: 1 of 1

APPROVED APPROVED AS MODIFIED ( )  
REVISE AND RESUBMIT ( )  
NOT REVIEWED ( )

"The proposed grading and drainage are approved as being in general conformity with the overall approved grading plans for the subdivision." The Engineer does not warrant or represent that the information contained on this drawing is either accurate or complete.

Sole responsibility for correct design, details and dimensions shall remain with the party submitting the drawing.

PAUL THEIL ASSOCIATES LIMITED  
By: *[Signature]*  
Date: **APR 03 1995**

**PRINTED**  
APR 8 1995  
PAUL THEIL ASSOCIATES LIMITED

KEY PLAN n.i.s.

NO	REVISION	BY	DATE
1	REVISED NORTH ENTRANCE AND PARKING LAYOUT	KM	JAN 94
2	ROOF DRAIN PIPING LAYOUT	KM	JAN 94

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE WORK.  
DRAWINGS ARE NOT TO BE SCALED

project  
**ITALPASTA**  
116 NUGGET COURT  
BRAMPTON ONTARIO

sheet title  
**SITE PLAN & DETAILS**

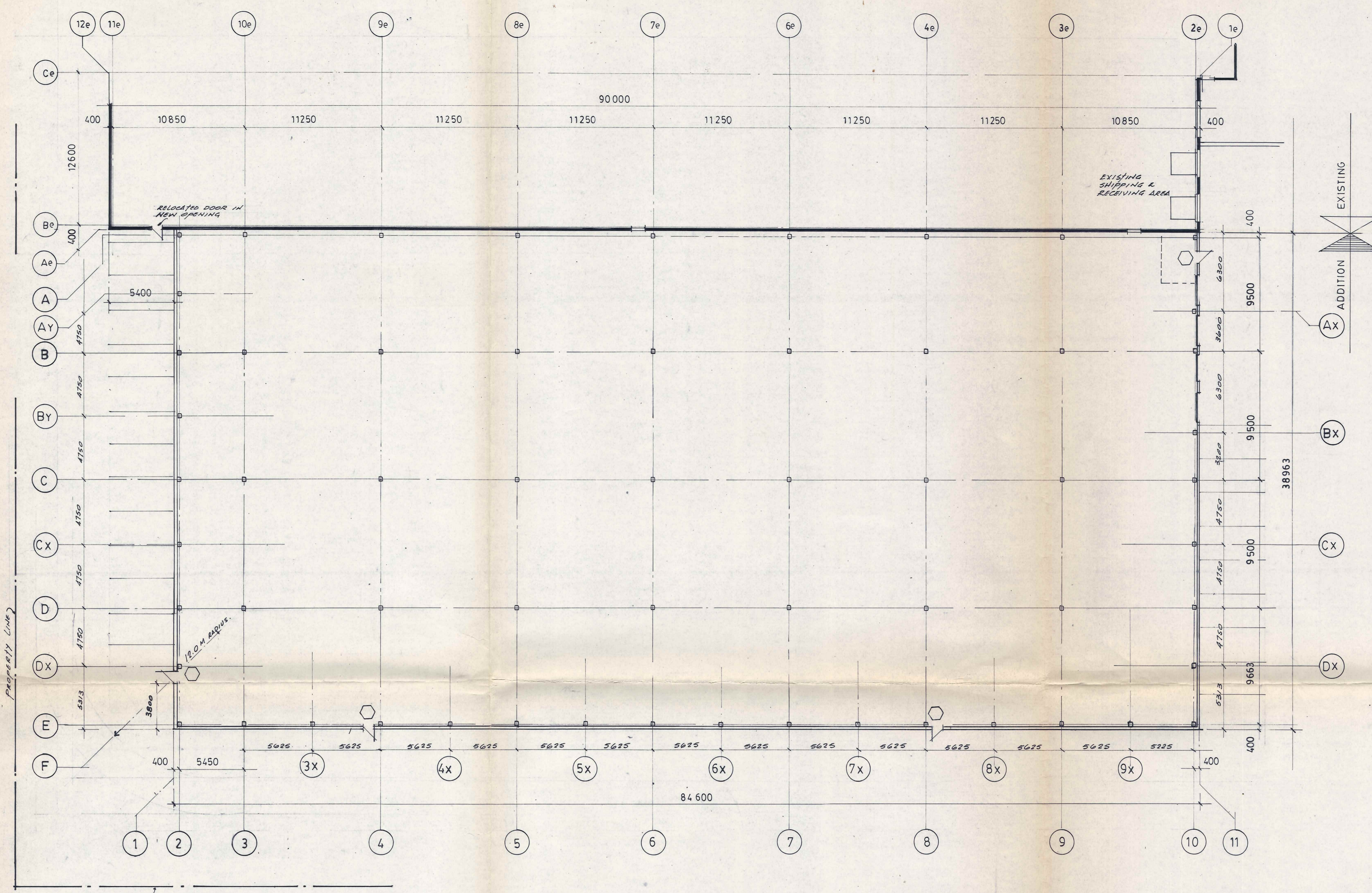
drawn: [Signature] scale: *Noted* sheet no: A-1  
date: *Aug 93* proj. no:

atim inc. 486-1435  
design & planning consultants  
20 Brockfield rd. willowdale  
city of north york ont. m2p 1a9

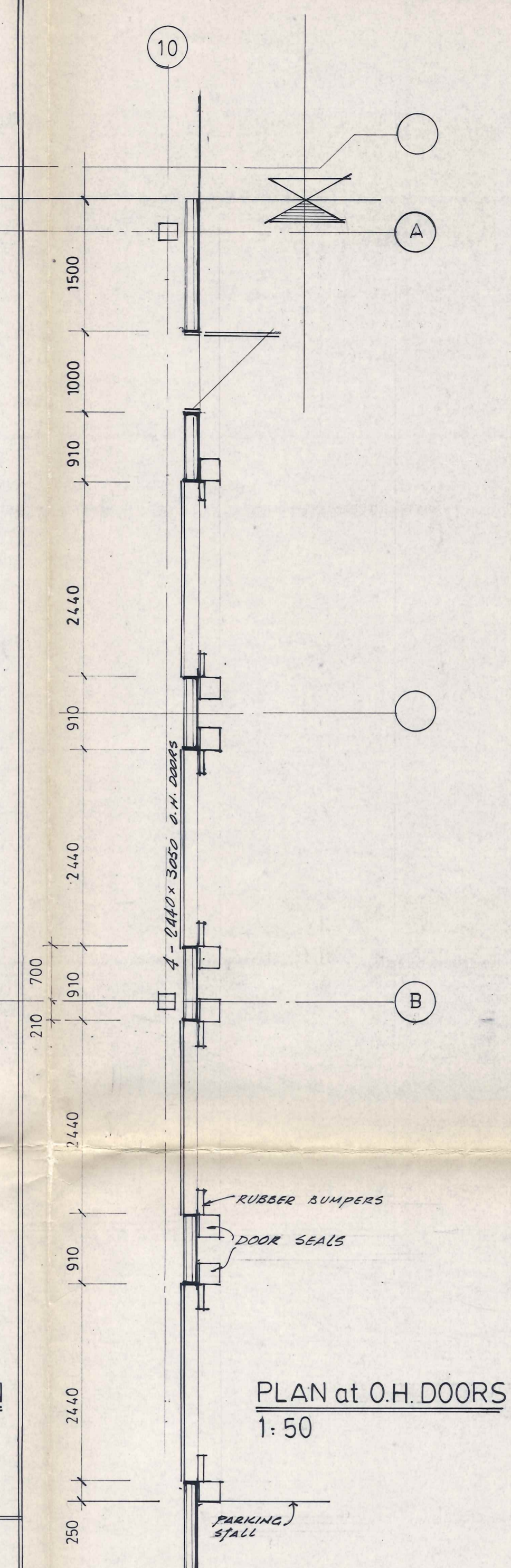




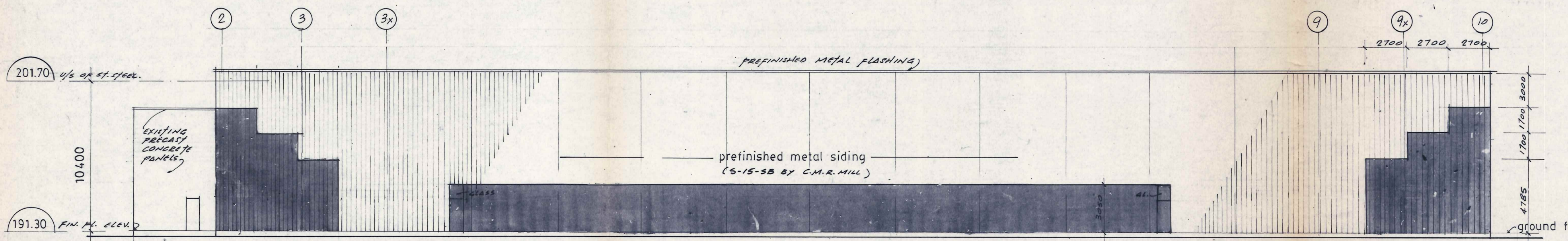




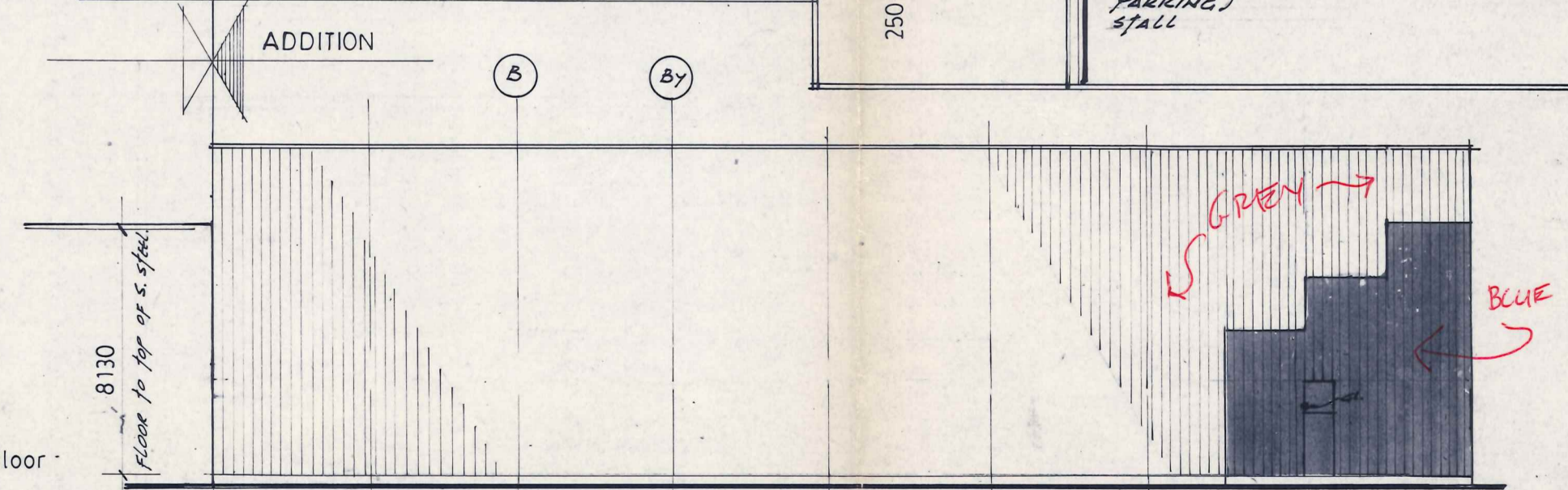
**GROUND FLOOR PLAN**  
1:200  
AREA = 84,600 x 41,000 = 3,468.6 M<sup>2</sup>  
= 37,337 s.f.



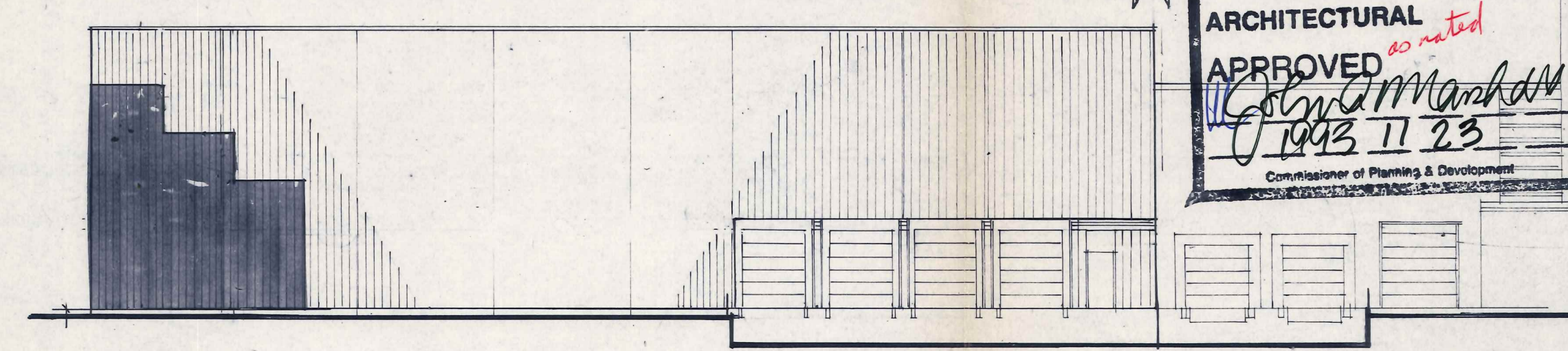
**PLAN at O.H. DOORS**  
1:50



**WEST ELEVATION**  
1:200



**NORTH ELEVATION**



**SOUTH ELEVATION**

CITY OF BRAMPTON  
Planning & Development Department  
**ARCHITECTURAL**  
APPROVED  
*[Signature]*  
1993 11 23  
Consultant of Planning & Development

no	revision	by	date

DRAWINGS NOT VALID UNTIL STAMPED HEREIN.

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE WORK.  
DRAWINGS ARE NOT TO BE SCALED

project  
ADDITION TO  
**ITALPASTA**  
116 NUGGET COURT  
BRAMPTON-ONTARIO

sheet title  
**PLANS & ELEVATIONS**

drawn *[Signature]* scale *noted* sheet no. A-2  
date Aug 93 proj. no.



**TAB G**

LAND  
REGISTRY  
OFFICE #43

14025-0180 (LT)

PREPARED FOR Shannon1  
ON 2022/06/03 AT 16:53:47

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT BLK S PL 977 CHINGUACOUSY PT 4 , 43R15748 ; BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE  
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 14025-0281

PIN CREATION DATE:

1998/12/21

OWNERS' NAMES

BRAMALEA CONSOLIDATED DEVELOPMENTS LIMITED

CAPACITY SHARE

BENO

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
<p><b>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/06/24 ON THIS PIN**</b></p> <p><b>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/12/21**</b></p> <p><b>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/12/21 **</b></p> <p><b>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</b></p> <p><b>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</b></p> <p><b>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</b></p> <p><b>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</b></p> <p><b>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</b></p> <p><b>** CONVENTION.</b></p> <p><b>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</b></p> <p><b>**DATE OF CONVERSION TO LAND TITLES: 1998/12/22 **</b></p>						
VS204279	1972/03/22	AGREEMENT			THE CORPORATION OF THE TOWNSHIP OF CHINGUACOUSY	C
		REMARKS: DELETED FROM 14024 0225 BY VMIKLOSKA 2003 12 23				
PL977	1973/03/30	PLAN SUBDIVISION				C
VS260858	1973/05/15	AGREEMENT			THE CORPORATION OF THE TOWNSHIP OF CHINGUACOUSY	C
		REMARKS: SKETCH ATTACHED.				
VS264566	1973/06/06	BYLAW EX PART LOT				C
RO600464	1982/01/21	DEBENTURE	\$500,000,000		CANADIAN IMPERIAL BANK OF COMMERCE	C
43R14908	1987/09/03	PLAN REFERENCE				C
43R15748	1988/06/03	PLAN REFERENCE				C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

LAND  
REGISTRY  
OFFICE #43

14025-0180 (LT)

PREPARED FOR Shannon1  
ON 2022/06/03 AT 16:53:47

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
LT2057426	2000/03/27	NOTICE		HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF TRANSPORT CANADA		C
		<i>REMARKS: PEARSON AIRPORT ZONING REGULATION</i>				
PR860650	2005/06/01	BYLAW		THE CORPORATION OF THE CITY OF BRAMPTON		C
		<i>REMARKS: BY-LAW NO. 143-2005 TO REPEAL BY-LAWS EXEMPTING LANDS FROM PART LOT CONTROL, SEE SCHEDULE ATTACHED.</i>				

LAND  
REGISTRY  
OFFICE #43

14025-0181 (LT)

PREPARED FOR Shannon1  
ON 2022/06/03 AT 16:54:12

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT NUGGETT CT CHINGUACOUSY CLOSED BY R0855059 BEING PT BLK S, PL 977, PT 3, 43R15748 ; S/T R0822095 BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE  
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 14025-0282

PIN CREATION DATE:

1998/12/21

OWNERS' NAMES

BRAMALEA LIMITED

CAPACITY SHARE

BENO

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
<p><b>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/06/24 ON THIS PIN**</b></p> <p><b>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/12/21**</b></p> <p><b>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/12/21 **</b></p> <p><b>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</b></p> <p><b>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * AND ESCHEATS OR FORFEITURE TO THE CROWN.</b></p> <p><b>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY CONVENTION.</b></p> <p><b>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</b></p> <p><b>**DATE OF CONVERSION TO LAND TITLES: 1998/12/22 **</b></p>						
VS204279	1972/03/22	AGREEMENT			THE CORPORATION OF THE TOWNSHIP OF CHINGUACOUSY	C
REMARKS: DELETED FROM 14024 0225 BY VMIKLOSKA 2003 12 23						
VS260858	1973/05/15	AGREEMENT			THE CORPORATION OF THE TOWNSHIP OF CHINGUACOUSY	C
REMARKS: SKETCH ATTACHED.						
VS264566	1973/06/06	BYLAW EX PART LOT				C
43R14722	1987/07/02	PLAN REFERENCE				C
43R14908	1987/09/03	PLAN REFERENCE				C
43R14991	1987/09/28	PLAN REFERENCE				C
R0822095	1987/10/23	TRANSFER EASEMENT			THE CORPORATION OF THE CITY OF BRAMPTON	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

LAND  
REGISTRY  
OFFICE #43

14025-0181 (LT)

PREPARED FOR Shannon1  
ON 2022/06/03 AT 16:54:12

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

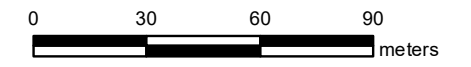
REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
43R15748	1988/06/03	PLAN REFERENCE				C
RO855313	1988/07/21	TRANSFER	\$2		BRAMALEA LIMITED	C
RO1087438	1995/03/28	LIEN				C
LT2057426	2000/03/27	NOTICE		HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF TRANSPORT CANADA		C
		<i>REMARKS: PEARSON AIRPORT ZONING REGULATION</i>				
PR860650	2005/06/01	BYLAW		THE CORPORATION OF THE CITY OF BRAMPTON		C
		<i>REMARKS: BY-LAW NO. 143-2005 TO REPEAL BY-LAWS EXEMPTING LANDS FROM PART LOT CONTROL, SEE SCHEDULE ATTACHED.</i>				

**TAB H**



PRINTED ON 10 OCT, 2019 AT 09:00:52  
FOR ROBERTA01

### SCALE



## PROPERTY INDEX MAP

PEEL(No. 43)

### LEGEND

- FREEHOLD PROPERTY
- LEASEHOLD PROPERTY
- LIMITED INTEREST PROPERTY
- CONDOMINIUM PROPERTY
- RETIRED PIN (MAP UPDATE PENDING)
- PROPERTY NUMBER
- BLOCK NUMBER
- GEOGRAPHIC FABRIC
- EASEMENT

**THIS IS NOT A PLAN OF SURVEY**

### NOTES

**REVIEW THE TITLE RECORDS FOR COMPLETE PROPERTY INFORMATION AS THIS MAP MAY NOT REFLECT RECENT REGISTRATIONS**

THIS MAP WAS COMPILED FROM PLANS AND DOCUMENTS RECORDED IN THE LAND REGISTRATION SYSTEM AND HAS BEEN PREPARED FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT REFERENCE PLANS ARE NOT ILLUSTRATED



# TAB I

Ministry of Government and  
Consumer Services

## Profile Report

NAK DESIGN '88 INC. as of June 06, 2022

<b>Act</b>	Business Corporations Act
<b>Type</b>	Ontario Business Corporation
<b>Name</b>	NAK DESIGN '88 INC.
<b>Ontario Corporation Number (OCN)</b>	821248
<b>Governing Jurisdiction</b>	Canada - Ontario
<b>Status</b>	Inactive - Voluntary Dissolution
<b>Date of Incorporation/Amalgamation</b>	February 17, 1989
<b>Inactive Date</b>	May 01, 2017
<b>Registered or Head Office Address</b>	355 Adelaide Street W, Studio 400, Toronto, Ontario, Canada, M5V 1S2

Certified a true copy of the record of the Ministry of Government and Consumer Services.

A handwritten signature in black ink, appearing to read "V. Quintanilla W.".

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

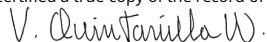
**Active Director(s)****Minimum Number of Directors**  
**Maximum Number of Directors**

[Not Provided]

[Not Provided]

**Name**  
**Address for Service**  
**Resident Canadian**  
**Date Began**Robert NG  
178 Banbury Road, North York, Ontario, Canada, M3B 3C5  
Yes  
August 01, 1990**Name**  
**Address for Service**  
**Resident Canadian**  
**Date Began**Silvano TARDELLA  
15 Sedgebrook Crescent, Etobicoke, Ontario, Canada, L4B  
2H9  
Yes  
August 01, 1990**Name**  
**Address for Service**  
**Resident Canadian**  
**Date Began**Sibylle VON KNOBLOCH  
[Not Provided], Rr #5, Cookstown, Ontario, Canada, L0L 1L0  
Yes  
August 01, 1990

Certified a true copy of the record of the Ministry of Government and Consumer Services.



Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

**Active Officer(s)**

<b>Name</b>	Silvano TARDELLA
<b>Position</b>	President
<b>Address for Service</b>	15 Sedgebrook Crescent, Etobicoke, Ontario, Canada, L4B 2H9
<b>Date Began</b>	August 01, 1990
<b>Name</b>	Sibylle VON KNOBLOCH
<b>Position</b>	Secretary
<b>Address for Service</b>	[Not Provided], Rr #5, Cookstown, Ontario, Canada, L0L 1L0
<b>Date Began</b>	August 01, 1990
<b>Name</b>	Sibylle VON KNOBLOCH
<b>Position</b>	Treasurer
<b>Address for Service</b>	[Not Provided], Rr #5, Cookstown, Ontario, Canada, L0L 1L0
<b>Date Began</b>	August 01, 1990

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

**Corporate Name History****Name**

NAK DESIGN '88 INC.

**Effective Date**

Refer to Corporate Records

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

### Active Business Names

This corporation does not have any active business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

### Expired or Cancelled Business Names

This corporation does not have any expired or cancelled business names registered under the Business Names Act in Ontario.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.



## Document List

Filing Name	Effective Date
BCA - Articles of Dissolution	May 01, 2017
Annual Return - 2015 PAF: SIBYLLE VON KNOBLOCH - OFFICER	March 21, 2017
Annual Return - 2014 PAF: SIBYLLE VON KNOBLOCH - OFFICER	July 04, 2015
Annual Return - 2013 PAF: SILVANO TARDELLA - OFFICER	June 28, 2014
Annual Return - 2012 PAF: SILVANO TARDELLA - OFFICER	June 29, 2013
Annual Return - 2011 PAF: SIBYLLE VON KNOBLOCH - OFFICER	July 07, 2012
Annual Return - 2010 PAF: SIBYLLE VON KNOBLOCH - OFFICER	July 02, 2011
Annual Return - 2009 PAF: SIBYLLE VON KNOBLOCH - OFFICER	July 17, 2010
Annual Return - 2008 PAF: SYBYLLE VON KNOBLOCH - OFFICER	September 12, 2009
Annual Return - 2007 PAF: SIBYLLE VON KNOBLOCH - OFFICER	August 31, 2008
Annual Return - 2006 PAF: SIBYLLE VON KNOBLOCH - OFFICER	May 17, 2008
Annual Return - 2005 PAF: OFFICER	August 26, 2006
Annual Return - 2004	September 25, 2005
Annual Return - 2003	October 23, 2004

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

Annual Return - 2002 PAF: SIBYLLE VON KNOBLOCH - DIRECTOR	August 31, 2003
Annual Return - 2001 PAF: SIBYLLE VON KNOBLOCH - DIRECTOR	September 22, 2002
Annual Return - 2000 PAF: SIBYLLE VON KNOBLOCH - DIRECTOR	December 02, 2001
Other - SN2 DEFAULT (ORIG NOTICE)	April 08, 1995
CB - SN Courtesy Letter	August 11, 1994
Other - SN DEFAULT (ORIG NOTICE)	March 19, 1994
CB - Update (461a)	January 26, 1994
CPCV - Corporate Conversion ADD	June 27, 1992

All "PAF" (person authorizing filing) information is displayed exactly as recorded in the Ontario Business Registry. Where PAF is not shown against a document, the information has not been recorded in the Ontario Business Registry.

Certified a true copy of the record of the Ministry of Government and Consumer Services.

*V. Quintanilla W.*

Director/Registrar

This report sets out the most recent information filed on or after June 27, 1992 in respect of corporations and April 1, 1994 in respect of Business Names Act and Limited Partnerships Act filings and recorded in the electronic records maintained by the Ministry as of the date and time the report is generated, unless the report is generated for a previous date. If this report is generated for a previous date, the report sets out the most recent information filed and recorded in the electronic records maintained by the Ministry up to the "as of" date indicated on the report. Additional historical information may exist in paper or microfiche format.

**TAB J**

Court File No. 31-299040  
Estate File No. 31-299040

**ONTARIO**  
**SUPERIOR COURT OF JUSTICE**  
**[IN BANKRUPTCY AND INSOLVENCY]**  
**(COMMERCIAL LIST)**

**IN THE MATTER OF THE BANKRUPTCY OF**  
**BRAMALEA INC.**  
**OF THE CITY OF TORONTO IN THE PROVINCE OF ONTARIO**

**MNP LTD.**, a licensed insolvency trustee, hereby consents to act as the trustee of the bankrupt estate of Bramalea Inc., appointment pursuant to Section 41(11) of the Bankruptcy and Insolvency Act, R.S.C. 1985, c. B-3.

**DATED** at Toronto, this 3<sup>rd</sup> day of June 2022.

**MNP LTD.**



By: \_\_\_\_\_  
Name: Sheldon Title  
Title: Senior Vice President

**IN THE MATTER OF THE BANKRUPTCY OF BRAMALEA INC. OF THE CITY OF  
TORONTO IN THE PROVINCE OF ONTARIO**

Court File No. 31-299040  
Estate File No. 31-299040

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**ONTARIO  
SUPERIOR COURT OF JUSTICE  
(COMMERCIAL LIST)**

**Proceedings commenced at Toronto**

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**CONSENT TO ACT AS TRUSTEE**

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**LOOPSTRA NIXON LLP**

135 Queens Plate Drive – Suite 600  
Toronto, ON M9W 6V7

**R. Graham Phoenix (LSUC #52650N)**

Tel: (416) 748-4776

Fax: (416) 746-8319

Email: [gphoenix@loonix.com](mailto:gphoenix@loonix.com)

*Lawyers for Italtasta Limited, 1960526 Ontario  
Inc. and Joseph Vitale Management Limited*

**TAB K**

**PURCHASE AND SALE AGREEMENT**

THIS AGREEMENT dated as of the 6<sup>th</sup> day of June 2022

**B E T W E E N:**

**MNP LTD., SOLELY IN ITS CAPACITY AS LICENSED INSOLVENCY  
TRUSTEE OF THE BANKRUPTCY ESTATE OF BRAMALEA INC.,  
AND NOT IN ITS PERSONAL OR COPORATE CAPACITIES**

(the “Vendor” or the “Trustee”)

- and –

**JOSEPH VITALE MANAGEMENT LIMITED**

(the “Purchaser”)

**WHEREAS:**

- A. The Purchaser has made a motion to the Court, returnable June 14, 2022, seeking an order, *inter alia*, (i) appointing the Vendor as Trustee of the bankruptcy estate of Bramalea Inc., bearing Estate File No. 31-299040 (the “**Appointment Order**”); and, approving a sale process for the marketing and sale of the Lands (as defined herein) to be administered by the Trustee (the “**Sale Process**”).
- B. The Purchaser offers to purchase the Lands (as defined herein) from the Vendor on the terms and conditions set out herein and subject to the Court issuing the Appointment Order and the Court issuing an order approving this Agreement and vesting title in the Purchaser on closing.
- C. The Purchaser expressly acknowledges and agrees that this Agreement may not be selected as the Trustee as the winning offer in the Sales Process.

**NOW THEREFORE THIS AGREEMENT WITNESSES THAT**, in consideration of the agreements contained in this Agreement and other good and valuable consideration (the receipt and sufficiency of which are hereby acknowledged by each of the parties), the parties agree as follows:

**ARTICLE 1**  
**INTERPRETATION**

**1.01 Definitions**

In this Agreement, including the recitals and Schedules to this Agreement, unless something in the subject matter or context is inconsistent therewith:

- (a) “**Adjustments**” means the adjustments to the Purchase Price provided for and determined pursuant to Section 2.05.
- (b) “**Agreement**” means this agreement and all amendments made to this agreement by written agreement between the parties.
- (c) “**Approval & Vesting Order**” means an Order of the Court substantially in the form of the model order approved by the Commercial List Users Committee and satisfactory to the Vendor and Purchaser, acting reasonably, approving this Agreement and vesting title to the Lands in the Purchaser, free and clear of all Claims and Encumbrances.
- (d) “**Business Day**” means a day other than a Saturday, Sunday or statutory holiday in the Province of Ontario.
- (e) “**Closing**” means the completion of the purchase and sale of the Lands contemplated by Article 2 of this Agreement.
- (f) “**Closing Date**” means the third (3<sup>rd</sup>) Business Day after this Agreement is determined by the Trustee to be the winning offer in the Sale Process, or such other date as may be agreed to in writing by the Purchaser and the Vendor.
- (g) “**Closing Time**” means 5:00 p.m. (Eastern Time) on the Closing Date.
- (h) “**Court**” means the Ontario Superior Court of Justice (Commercial List).
- (i) “**Deposit**” has the meaning set out in Section 2.03.
- (j) “**Encumbrance**” means any encumbrance, lien, charge, hypothec, mortgage, pledge, title retention agreement, security interest, reservation of title, easement, right of occupation, option to buy, pre-emptive right to buy, right of first refusal or first offer, transfer restriction or any agreement to create any of the foregoing.
- (k) “**HST Legislation**” has the meaning set out in Section 2.06.
- (l) “**Lands**” means the real property legally described in Schedule “A”.
- (m) “**Person**” means and includes any individual, corporation, partnership, firm, joint venture, syndicate, association, trust, government, governmental agency or board or commission or authority, and any other form of entity or organization.



- (n) **“Purchase Price”** has the meaning set out in Section 2.02.
- (o) **“Sunset Date”** means June 17, 2022.
- (p) **“Transaction Documents”** means, collectively, this Agreement and all other agreements executed and delivered by one or both of the parties at the Closing

## **1.02 Headings**

The division of this Agreement into Articles and Sections and the insertion of headings are for convenience of reference only and will not affect the construction or interpretation of this Agreement. The terms **“herein”**, **“hereof”**, **“hereunder”**, **“hereto”** and similar expressions refer to this Agreement and not to any particular Article, Section or other portion of this Agreement. Unless something in the subject matter or context is inconsistent therewith, references in this Agreement to Articles and Sections are to Articles and Sections of this Agreement.

## **1.03 Extended Meanings**

In this Agreement, words importing the singular number only will include the plural and vice versa, words importing the masculine gender will include the feminine and neuter genders and vice versa, and words importing persons will include individuals, partnerships, limited partnerships, associations, trusts, unincorporated organizations, governments, governmental authorities, companies and corporations. The term **“including”** means “including, without limiting the generality of the foregoing,” and the term **“include”** has a corresponding meaning.

## **1.04 Statutory References**

In this Agreement, unless something in the subject matter or context is inconsistent therewith, a reference to any statute is to that statute as now enacted or as the same may from time to time be amended, re-enacted or replaced and includes any regulations made thereunder.

## **1.05 Vendor’s Capacity**

The Vendor is acting solely in its capacity as the Trustee and shall have no personal or corporate liability under this Agreement. Any claim against the Vendor shall be limited to, and only enforceable against the property and assets then held by or available to the Vendor in its capacity Trustee and shall not apply to the Vendor’s personal property and assets held by it in any other capacity. The Vendor shall have no personal or corporate liability of any kind, whether in equity, contract, tort or otherwise.

## **1.06 Schedules**

The following schedules are attached to this Agreement and incorporated by reference and deemed to be part of this Agreement:

### **Schedule “A” – Legal Description of the Lands**

**ARTICLE 2**  
**PURCHASE AND SALE OF THE LANDS**

**2.01 Purchase and Sale of the Lands**

Upon and subject to the provisions hereof, the Vendor agrees to sell the Lands to the Purchaser, and the Purchaser agrees to purchase the Lands from the Vendor, at the Closing Time.

**2.02 Purchase Price**

The purchase price payable by the Purchaser to the Vendor for the Lands shall be the sum of **\$45,000.00** (the “Purchase Price”).

**2.03 Payment of Purchase Price**

The Purchase Price shall be paid by the Purchaser to the Vendor as follows:

- (a) subject to Section 4.01 and 4.02, a non-refundable deposit in the amount **\$22,500.00** (the “Deposit”) by bank draft or wire transfer within three (3) Business Days following the execution of this Agreement by the Purchaser; and
- (b) the balance of the Purchase Price by certified cheque or wire transfer to an account specified by the Vendor at or before the Closing Time.

For clarity, the Deposit payable by the Purchaser shall be retained by the Vendor whether or not the transaction contemplated by this Agreement is completed or this Agreement is terminated by either party, regardless of the reasons for such failure to complete the transaction or the termination of this Agreement, *save and except* for (i) the non-fulfillment of the condition contained in Section 4.01(a); (ii) if the Agreement automatically terminated under Section 4.02(a); (iii) if the Purchaser elects to terminate this Agreement under Section 4.02(b); and (iii) if the Vendor or Purchaser elect to terminate this Agreement pursuant to Section 4.02(c).

**2.04 Agent Fees / Commissions**

The parties acknowledge and agree that no agent fees or commissions shall be paid to any agent, broker or other Person in respect of this Agreement or completion of the transactions contemplated hereby.

**2.05 Adjustments**

Adjustments shall be made as of the Closing Date on an accrual basis. The Vendor shall be responsible for all expenses accrued in respect of the Lands for that period ending on the Closing Date and, thereafter, the Purchaser shall be responsible for all expenses in respect of and shall be entitled to all revenue accruing from the Lands.

Adjustments shall include all realty taxes, municipal service accounts, utilities costs, and other adjustments established by the usual practice in the Province of Ontario for the purchase and sale of commercial property.

The provisions of this Section 2.05 shall survive Closing.

## **2.06 Harmonized Sales Tax**

The Purchase Price excludes HST. The Purchaser agrees and confirms that the Purchaser will be, at the time of Closing, a registrant under Part 9 of the *Excise Tax Act* (Canada) (the “**HST Legislation**”). The Vendor and Purchaser acknowledge that the purchase by the Purchaser of the Lands is governed by the provisions of Section 221(2)(b) and 228(4)(a) of the HST Legislation. Accordingly, the Vendor has no obligation to collect HST on the Purchase Price and the Purchaser shall self-assess the HST owing in respect of the transaction of the purchase and sale contemplated by this Agreement. The Purchaser will indemnify and save harmless the Vendor in respect of any amounts, demands or claims owing or which may become owing in respect of any HST exigible on the completion of this transaction.

Notwithstanding the foregoing, the Purchaser shall, upon the completion of the transaction contemplated by this Agreement, in addition to the Purchase Price, be responsible for all applicable federal and provincial taxes exigible in connection with the Lands (collectively, “**Exigible Taxes**”). The Purchaser will indemnify and save harmless the Vendor in respect of any amounts, demands or claims owing or which may become owing in respect of any Exigible Taxes on the completion of this transaction.

## **2.07 Land Transfer Tax**

The Purchaser shall pay all applicable land transfer tax upon the registration of the Approval & Vesting Order in respect of the Lands. Accordingly, the Vendor has and shall have no obligation or liability in respect of land transfer tax. The Purchaser will indemnify and save harmless the Vendor in respect of any amounts, demands or claims owing or which may become owing in respect of any land transfer tax exigible, assessed, in respect of, or arising out of the completion of this transaction.

## **ARTICLE 3 REPRESENTATIONS & CLOSING MECHANICS**

### **3.01 Vendor’s Representations**

The Vendor represents to and in favour of the Purchaser that, subject to the issuance by the Court of the Approval & Vesting Order, each of the following statements is on the date of this Agreement, and will at the Closing Time be, true and correct:

- (a) the Vendor has good and sufficient power, authority and right to enter into this Agreement and each of the other Transaction Documents to be entered into by it and to complete the transactions to be completed by it hereunder and thereunder;
- (b) the Vendor has the right to sell the Lands in accordance with the provisions of this Agreement and has not sold or otherwise disposed or agreed to sell or otherwise dispose of any of the Lands and has not mortgaged, charged or encumbered any of the Lands; and

- (c) the Vendor is not now and will not on Closing be a non-resident of Canada within the meaning of Section 116 of the *Income Tax Act*.

### **3.02 Purchaser's Representations**

The Purchaser, represents to and in favour of the Purchaser that each of the following statements is on the date of this Agreement, and will at the Closing Time be, true and correct:

- (a) the Purchaser is a corporation duly incorporated and subsisting under the law of Ontario;
- (b) the Purchaser has good and sufficient corporate power and corporate authority to enter into this Agreement and each of the other Transaction Documents to be entered into by it and to complete the transactions to be completed by it hereunder and thereunder;
- (c) the Purchaser's is, or shall be at Closing, a registrant under Part IX of the *Excise Tax Act* (Canada); and
- (d) the Purchaser is not now and will not on Closing be a non-resident of Canada within the meaning of Section 116 of the *Income Tax Act*.

### **3.03 Electronic Registration**

The parties acknowledge that the Teraview Electronic Registration System is operative and mandatory in the applicable Land Titles Offices relating to the Lands. The parties shall each authorize their respective legal counsel to enter into a document registration agreement in the form adopted by the joint LSO-CBAO Committee on Electronic Registration of Title Documents. The delivery and exchange of documents and closing funds and the release thereof to Vendor and Purchaser, as the case may be: (a) shall not occur contemporaneously with the registration of the applicable application for registration of the Approval & Vesting Order (and other registrable documentation); and (b) shall be governed by the document registration agreement pursuant to which legal counsel receiving any documents or funds will be required to hold same in escrow and will not be entitled to release except in strict accordance with the provisions of the document registration agreement.

### **3.04 Closing**

- (a) The Closing will be completed at the Closing Time.
- (b) Any tender of documents or money under this Agreement may be made upon the parties or their respective lawyers.
- (c) The Vendor covenants to execute, where applicable, and deliver the following to the Purchaser at or before the Closing Time:
  - (i) a copy of the issued and entered Appointment Order;

- (ii) a copy of the issued and entered Approval & Vesting Order;
  - (iii) a statement of adjustments in accordance with Section 2.05 hereof;
  - (iv) an undertaking to readjust for the adjustments set out in Section 2.05 hereof;
  - (v) a certificate, dated as of the Closing Date, certifying:
    - i. that, except as disclosed in such certificate, the Vendor has not been served with any notice of appeal with respect to the Appointment Order or the Approval & Vesting Order, or any notice of any application, motion or proceedings seeking to set aside or vary the Approval & Vesting Order or enjoin, restrict or prohibit the completion of the transaction contemplated hereby;
    - ii. that all representations, warranties and covenants of the Vendor contained in this Agreement are true as of the Closing Time, with the same effect as though made on and as of the Closing Time; and
    - iii. the non-merger specified in Section 3.07 hereof and elsewhere herein
  - (vi) an acknowledgement, dated as of the Closing Date, that each of the conditions to Closing in favour of the Vendor has been fulfilled, performed or waived as of the Closing Time; and
  - (vii) such further documentation relating to the completion of the transaction contemplated hereby as is otherwise referred to herein or as may be required by the Purchaser (acting reasonably), any applicable law or governmental authority.
- (d) The Purchaser covenants to execute, where applicable, and deliver the following to the Vendor at or before the Closing Time:
- (i) indefeasible payment and satisfaction in full of the Purchase Price in accordance with Section 2.03 hereof;
  - (ii) if necessary, payment or evidence of payment of HST applicable to the Lands or, if applicable, appropriate tax exemption certificates with respect to HST in accordance with the terms hereof;
  - (iii) an indemnity in favour of the Vendor in respect of HST, Exigible Taxes and land transfer tax, pursuant to Section 2.06 and Section 2.07 hereof;
  - (iv) an undertaking to readjust for the adjustments set out in Section 2.05 hereof;

- (v) an assignment and assumption of all Leases (to the extent assignable) relating to the period from and after the Closing Date;
- (vi) a certificate, dated as of the Closing Date, certifying:
  - i. that all representations, warranties and covenants of the Purchaser contained in this Agreement are true as of the Closing Time, with the same effect as though made on and as of the Closing Time; and
  - ii. the non-merger specified in Section 3.07 hereof and elsewhere herein;
- (vii) an acknowledgement, dated as of the Closing Date, that each of the conditions to Closing in favour of the Purchaser has been fulfilled, performed or waived as of the Closing Time; and
- (e) such further documentation relating to the completion of the transaction contemplated hereby as is otherwise referred to herein or as may be required by the Purchaser (acting reasonably), any applicable law or governmental authority.

### **3.05 Survival of Representations**

The representations and warranties contained in this Agreement, other than those contained in Section 2.05, 3.02, 3.03, 3.04, 3.05 and 5.19, shall merge on Closing. In the event that either party shall become aware of any material breach of a representation or warranty prior to the Closing, it shall forthwith advise the other party in writing and the sole right and remedy of the other party with respect thereto shall be the termination of this Agreement pursuant to the representations in favour of the other party contained in Section 3.04 or 3.05, as applicable. Notwithstanding any of the provisions contained in this Agreement to the contrary, the Vendor's liability with respect to any breach of a representation, warranty or covenant contained in this Agreement shall be limited to the amount of the Deposit and the Vendor shall not be liable for any loss of profits, loss of revenue, loss of contract, loss of business opportunity or any consequential loss or indirect loss or damages of any nature or kind.

## **ARTICLE 4**

### **CONDITION PRECEDENT AND TERMINATION**

#### **4.01 Condition Precedent**

- (a) This Agreement has been executed by the Purchaser and delivered in escrow, only to be released upon the issuance by the Court of the Appointment Order and Approval & Vesting Order in form and substance satisfactory to the Parties, acting reasonably. The effectiveness of this Agreement is conditional on the issuance by the Court of such Appointment Order and Approval & Vesting Order. In the event the Appointment Order and Approval & Vesting Order has not been issued by the Court on or before the Sunset Date, unless otherwise agreed to by the Purchaser, this Agreement shall be null and void and the Purchaser shall be entitled to the

return of the Deposit and neither the Purchaser nor the Vendor shall have any obligations under this Agreement and neither party will have any liability to the other for any loss or damage suffered by it.

#### 4.02 **Termination**

- (a) ***Automatic Termination re: Agreement is not the Winning Offer*** – In the event the Trustee does not select the Agreement as the winning offer in the sales process, then this Agreement shall automatically terminate and the Purchaser shall be entitled to the return of the Deposit and neither the Purchaser nor the Vendor shall have any obligations under this Agreement and neither party will have any liability to the other for any loss or damage suffered by it.
- (b) ***Purchaser Option to Terminate re: Approval & Vesting Order is Stayed*** – In the event the Approval & Vesting Order is issued by the Court but stayed by the Court prior to the completion of the transaction contemplated by this Agreement, the Purchaser shall be entitled, at the Purchaser's option, on written notice to the Vendor, either to terminate its obligations under this Agreement or to extend the Closing Date in order to provide the Purchaser and the Vendor with additional time to effect the lifting of such stay. In the event the Purchaser elects to terminate its obligations under this Agreement pursuant to this Section 4.01(b), the Purchaser shall be entitled to the return of the Deposit and neither the Purchaser nor the Vendor shall have any obligations under this Agreement and neither party will have any liability to the other for any loss or damage suffered by it.
- (c) ***Mutual Option to Terminate re: Injunction or Vendor unable to Deliver Possession; No Cure***– In the event that (a) the Vendor is unable to complete the transaction contemplated by this Agreement as a result of any injunction or other order of any court of competent jurisdiction; or, (b) the Vendor is unable to provide to the Purchaser possession of the Lands as required by this Agreement, the Vendor will forthwith provide written notice thereof to the Purchaser (including full particulars with respect thereto). The Purchaser will then have the right, at its option, to extend the Closing Date for such period or periods as it determines by written notice thereof to the Vendor, provided that such extensions do not exceed an aggregate of sixty (60) days. During such extension or extensions, the Vendor will diligently attempt to settle such legal proceedings, to vacate such order and otherwise to remove all such impediments to the completion of the transaction contemplated by this Agreement. If all such impediments are not removed to the satisfaction of the Purchaser, acting reasonably, on or before the Closing Date (as such Closing Date may be extended pursuant to this Section 4.02(c)), then this Agreement may, at the option of either party, be terminated by written notice to such effect to the other party. If either party so elects, (i) this Agreement shall terminate; and (ii) thereafter the Purchaser shall be entitled to the return of the Deposit and the parties will be released from all further obligations under this Agreement and neither party will have any liability to the other for any loss or damage suffered by it.



## **ARTICLE 5**

### **GENERAL**

#### **5.01 “As is, Where Is”; No Representations, Warranties or Conditions by Vendor**

Notwithstanding any other provision of this Agreement (except as set out in Section 3.04) or any of the other Transaction Documents, no representations, warranties or conditions, express, implied, imposed by statute or otherwise, are made by the Vendor with respect to the title, physical characteristics, use, zoning, existence of latent defects, maintenance, repair or condition (including environmental condition) of the Lands or any other matter, it being the express intention of the Vendor and the Purchaser that the Lands shall be transferred to the Purchaser in their condition at Closing Time and state of repair, **“as is, where is” and “with recourse”**, with all faults.

#### **5.02 Further Assurances**

Each of the parties will from time to time execute and deliver all such further documents and instruments and do all such acts and things as the other party may, either before or after the Closing Date, reasonably required to effectively carry out or better evidence or perfect the full intent and meaning of this Agreement.

#### **5.03 Time of the Essence**

Time shall in all respects be of the essence hereof provided that the time for doing or completing of any matter provided for herein may be extended or abridged by an agreement in writing signed by the parties or by their respective solicitors who may be specifically authorized in that regard.

#### **5.04 Benefit of the Agreement**

This Agreement will enure to the benefit of and be binding on the respective successors (including any successor by amalgamation or operation of law) and permitted assigns of the parties.

#### **5.05 Entire Agreement**

This Agreement, together with the other Transaction Documents, constitute the entire agreement between the parties with respect to the subject matter hereof and supersede any prior understandings and agreements between the parties with respect thereto. There are no terms, conditions, undertakings or collateral agreements, express, implied or statutory, between the parties other than as expressly set out in this Agreement and the other Transaction Documents.

#### **5.06 Amendments and Waiver**

No modification of or amendment to this Agreement will be valid or binding unless in writing and duly executed by both of the parties. No waiver of any breach of any provision of this Agreement will be effective or binding unless made in writing and signed by the party purporting to give the same and, unless otherwise provided, will be limited to the specific breach waived.



### 5.07 **Assignment**

The Purchaser shall not, without the prior written consent of the Vendor, assign all or any portion of its rights and/or obligations under this Agreement.

### 5.08 **Legal and Accounting Fees**

Each of the parties will pay its own legal, accounting and other fees and expenses incurred in connection with the preparation, execution and delivery of this Agreement and the other Transaction Documents and the completion of the transaction contemplated hereby or thereby, as well as any other costs and expenses whatsoever and howsoever incurred.

### 5.09 **Non-Business Day**

If any amount required to be paid under this Agreement is due on a day which is not a Business Day, such amount will be paid on the next following Business Day.

### 5.10 **Notices**

Any demand, notice, objection or other communication to be given in connection with this Agreement or any of the Transaction Documents shall be given in writing by personal delivery, registered mail, courier or facsimile addressed to the recipient as follows:

To the Purchaser:     **c/o Loopstra Nixon LLP**  
 120 Adelaide Street West – Suite 1901  
 Toronto, ON M5H 1T1  
 Attention: Graham Phoenix  
 E-mail: [gphoenix@loonix.com](mailto:gphoenix@loonix.com)

To the Vendor :       **MNP Ltd.**  
 111 Richmond Street West – Suite 300  
 Toronto, ON M5H 2G4  
 Attention: Sheldon Title  
 E-mail: [sheldon.title@mnp.ca](mailto:sheldon.title@mnp.ca)

or to such other address, facsimile number, e-mail or individual as may be designated by notice by either party to the other party. Any demand, notice, objection or other communication given by personal delivery will be conclusively deemed to have been given on the day of actual delivery thereof and, if given by registered mail, on the fifth (5<sup>th</sup>) Business Day following the deposit thereof in the mail and, if given by courier, on the second (2<sup>nd</sup>) Business Day following the sending thereof and, if given by facsimile or e-mail, on the next Business Day following the sending thereof. If the party giving any demand, notice, objection or other communication knows or ought reasonably to know of any difficulties with the postal system which might affect the delivery of mail, such demand, notice, objection or other communication shall not be mailed but shall be given by personal delivery, courier or facsimile.

### **5.11 Currency**

All dollar amounts referred to in this Agreement are denominated in Canadian currency.

### **5.12 Governing Law**

This Agreement and the other Transaction Documents shall be governed by and construed in accordance with the laws of the Province of Ontario and the laws of Canada applicable therein.

### **5.13 Severability**

If any provision of this Agreement is determined to be invalid or unenforceable in whole or in part, such invalidity or unenforceability shall attach only to such provision or part thereof and the remaining part of such provision and all other provisions hereof shall continue in full force and effect.

### **5.14 Tender**

Any tender of notices, documents or monies hereunder may be made on the Vendor or the Purchaser or their respective solicitors. Any monies may be tendered by a negotiable cheque certified by a Canadian chartered bank or by a bank draft drawn on one of Canada's five largest chartered banks.

### **5.15 Execution & Delivery**

This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original and all of which taken together shall be deemed to constitute one and the same instrument. Counterparts may be executed and delivered either in original or faxed form or by electronic delivery in portable document format (PDF) and the parties adopt any signatures received by a receiving fax machine as original signatures of the Parties.

### **5.16 Irrevocable Offer**

The Purchaser covenants and agrees that the offer to purchase constituted by the delivery of a copy of this Agreement executed by the Purchaser shall be irrevocable and open for acceptance by the Vendor until the earlier of: (i) 5:00 p.m. on the Sunset Date; and (ii) the first Business Day following the date upon the Court issues the Appointment Order.

This Agreement may be accepted by giving a copy thereof to the Purchaser with the Vendor's acceptance endorsed thereon. If so accepted prior to the expiration hereof, this Agreement shall constitute a binding contract between the parties to purchase and sell the Lands on the terms and conditions herein set forth.

***[EXECUTIONS ON SEPARATE PAGE]***

**IN WITNESS OF WHICH** the Parties have executed this Agreement with effect as the following dates.

**DATED** the 6<sup>th</sup> day of June 2022.

**JOSEPH VITALE MANAGEMENT LIMITED**

By: \_\_\_\_\_

Name: Joseph Vitale

Title: President

*I have authority to bind the company.*

**ACCEPTANCE**

The Vendor hereby accepts this Agreement and covenants and agrees to sell the Lands to the Purchaser subject to and in accordance with the provisions and conditions hereof.

**DATED** this \_\_\_\_\_ day of June 2022.

**MNP LTD.**, solely in its capacity as licensed insolvency trustee of the bankruptcy estate of Bramalea Inc., and not in its personal or corporate capacities

By: \_\_\_\_\_

Name: Sheldon Title

Title: Senior Vice President

*I have authority to bind the company.*

**SCHEDULE "A"****THE LANDS**

1. PIN 14025-0180.

PT BLK S PL 977 CHINGUACOUSY PT 4, 43R15748; BRAMPTON

2. PIN 14025-0181

PT NUGGETT CT CHINGUACOUSY CLOSED BY RO855059 BEING PT BLK S, PL 977, PT 3, 43R15748 ; S/T RO822095 BRAMPTON

**IN THE MATTER OF THE BANKRUPTCY OF  
BRAMALEA INC.  
OF THE CITY OF TORONTO IN THE PROVINCE  
OF ONTARIO**

Court File No.: 31-299040  
Estate File No.: 31-299040

***ONTARIO***  
**SUPERIOR COURT OF JUSTICE**  
**(COMMERCIAL LIST)**

**Proceedings commenced at TORONTO**

**AFFIDAVIT OF JOSEPH VITALE**  
(sworn June 6, 2022)

**LOOPSTRA NIXON LLP**

135 Queens Plate Drive – Suite 600  
Toronto, ON M9W 6V

**R. Graham Phoenix (LSO No.: 52650N)**

Tel.: (416) 478-4776

Fax: (416) 476-8319

Email: [gphoenix@loonix.com](mailto:gphoenix@loonix.com)

*Lawyers for Italtasta Limited, 1960526 Ontario Inc.,  
and Joseph Vitale Management Limited*

TAB 3

Court File No. 31-299040  
Estate File No. 31-299040

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ONTARIO  
SUPERIOR COURT OF JUSTICE  
IN BANKRUPTCY AND INSOLVENCY  
COMMERCIAL LIST

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THE HONOURABLE \_\_\_\_\_ )  
JUSTICE <\*> \_\_\_\_\_ )  
WEEKDAY Tuesday, THE 14<sup>th</sup>  
DAY OF June MONTH, 20YR2022

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~~BETWEEN:~~

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~~PLAINTIFF~~

Plaintiff

~~—and—~~

~~DEFENDANT~~

~~Defendant~~ IN THE MATTER OF THE BANKRUPTCY OF  
BRAMALEA INC.  
OF THE CITY OF TORONTO IN THE PROVINCE OF ONTARIO

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APPROVAL AND VESTING ORDER

THIS MOTION, made by ~~[RECEIVER'S NAME]~~ Italpasta Limited ("Italpasta" or the "Applicant"), an interested person under s. 41(11) of the Bankruptcy and Insolvency Act, R.S.C. 1998 c. B-3 (the "BIA"), ~~in its capacity as the Court-appointed receiver (the "Receiver") of the undertaking, property and assets of [DEBTOR] (the "Debtor")~~ for an order approving the sale transaction (the "Transaction") contemplated by an agreement of purchase and sale (the "Sale Agreement") between ~~the Receiver~~ MNP Ltd., a licensed insolvency trustee, as the trustee of the bankruptcy estate (in such capacity, the "Trustee") of Bramalea Inc. (the "Bankrupt"), and ~~[NAME OF PURCHASER]~~ Joseph Vitale Management Limited, as purchaser (the "Purchaser") dated ~~[DATE]~~ June 6, 2022 and appended to the Pre-Appointment Report of the ~~Receiver~~ Trustee dated ~~[DATE]~~ June <\*>, 2022 (the "Report"), and vesting in the Purchaser the Trustee ~~Debtor's~~

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and Bankrupt's right, title and interest in and to the ~~assets~~ real property described in the Sale Agreement and registered in Land Titles under PIN #14025-0180 and PIN #14025-0181 (collectively, the "~~LandsPurchased-Assets~~"), was heard this day at 330 University Avenue, Toronto, Ontario.

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**ON READING** the Report and the appendices and confidential appendices thereto, and the affidavit of Joseph Vitale dated June 6, 2022 and the exhibits thereto (the "Vitale Affidavit"), and on hearing the submissions of counsel for the ~~Reeeiver~~ Applicant, ~~[NAMES OF OTHER PARTIES APPEARING]~~, no one appearing for any other person on the service list, although properly served as appears from the affidavit of ~~[NAME]~~ Amanda Adamo sworn June ~~[DATE]~~, 2022 ~~[DATE]~~ filed:

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**1. THIS COURT ORDERS** that the time for service and filing of the Report, the Vitale Affidavit and the motion record in respect of this motion is hereby abridged and validated so that this motion is properly returnable today and dispenses with further service thereof.

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**2. THIS COURT ORDERS AND DECLARES** that the approval of Transaction and vesting of the Lands in the Purchasers contemplated hereby is conditional on (a) there being no other offers received through the sales process to be administered by the Trustee and approved in these proceedings by separate order of the Court dated June 14, 2022 or (b) the Purchaser being the successful offeror in such sales process.

**1.3. THIS COURT ORDER AND DECLARES** that the Transaction ~~the Transaction~~ is hereby approved, and the execution of the Sale Agreement by the ~~Reeeiver~~ Trustee is hereby authorized and approved, with such minor amendments as the ~~Reeeiver~~ Trustee may deem necessary. The ~~Reeeiver~~ Trustee is hereby authorized and directed to take such additional steps and execute such additional documents as may be necessary or desirable for the completion of the Transaction and for the conveyance of the ~~Purchased-Assets~~ Lands to the Purchaser.

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**2.4. THIS COURT ORDERS AND DECLARES** that upon the delivery of a Reeeiver's Trustee's certificate to the Purchaser substantially in the form attached as Schedule A hereto (the "TrusteeReeeiver's Certificate"), all of the ~~Debtor's Bankrupt's~~ right, title and interest in and to the ~~Purchased-Assets~~ Lands described in the Sale Agreement ~~[and listed on Schedule B hereto]~~ shall vest absolutely in the Purchaser, free and clear of and from any and all security interests

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(whether contractual, statutory, or otherwise), hypothecs, mortgages, trusts or deemed trusts (whether contractual, statutory, or otherwise), liens, executions, levies, charges, or other financial or monetary claims, whether or not they have attached or been perfected, registered or filed and whether secured, unsecured or otherwise (collectively, the "**Claims**") including, without limiting the generality of the foregoing: (i) any encumbrances or charges created by the ~~Order of the Honourable Court Justice [NAME] dated [DATE]~~; (ii) all charges, security interests or claims evidenced by registrations pursuant to the *Personal Property Security Act* (Ontario) or any other personal property registry system; and (iii) those Claims listed on Schedule C hereto (all of which are collectively referred to as the "**Encumbrances**", which term shall not include the permitted encumbrances, easements and restrictive covenants listed on Schedule D) and, for greater certainty, this Court orders that all of the Encumbrances affecting or relating to the ~~Purchased Assets Lands~~ are hereby expunged and discharged as against the ~~Purchased Assets Lands~~.

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**3.5. THIS COURT ORDERS** that upon the registration in the Land Registry Office for the ~~appropriate [Registry Division of {LOCATION}] of a Transfer/Deed of Land in the form prescribed by the Land Registration Reform Act duly executed by the Receiver~~ Land Titles Division of ~~{LOCATION}~~ of an Application for Vesting Order in the form prescribed by the *Land Titles Act* and/or the *Land Registration Reform Act*, the Land Registrar is hereby directed to enter the Purchaser as the owner of the subject real property identified in Schedule B hereto (the "**Real Property**") in fee simple, and is hereby directed to delete and expunge from title to the Real Property all of the Claims listed in Schedule C hereto.

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**4.6. THIS COURT ORDERS** that for the purposes of determining the nature and priority of Claims, the net proceeds from the sale of the ~~Purchased Assets Lands~~ shall stand in the place and stead of the ~~Purchased Assets Lands~~, and that from and after the delivery of the ~~Receiver's Trustee's~~ Certificate all Claims and Encumbrances shall attach to the net proceeds from the sale of the ~~Purchased Assets Lands~~ with the same priority as they had with respect to the ~~Purchased Assets Lands~~ immediately prior to the sale, as if the ~~Purchased Assets Lands~~ had not been sold and remained in the possession or control of the person having that possession or control immediately prior to the sale.

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~~5.7.~~ **THIS COURT ORDERS AND DIRECTS** the ~~Receiver~~Trustee to file with the Court a copy of the Trustee~~Receiver~~'s Certificate, forthwith after delivery thereof.

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~~6. THIS COURT ORDERS that, pursuant to clause 7(3)(e) of the Canada Personal Information Protection and Electronic Documents Act, the Receiver is authorized and permitted to disclose and transfer to the Purchaser all human resources and payroll information in the Company's records pertaining to the Debtor's past and current employees, including personal information of those employees listed on Schedule "●" to the Sale Agreement. The Purchaser shall maintain and protect the privacy of such information and shall be entitled to use the personal information provided to it in a manner which is in all material respects identical to the prior use of such information by the Debtor.~~

~~7.8.~~ **THIS COURT ORDERS** that, notwithstanding:

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- (a) the pendency of these proceedings;
- (b) any ~~applications for a bankruptcy order now or hereafter issued pursuant to the Bankruptcy and Insolvency Act (Canada) in respect of the Debtor~~claims against the Bankrupt and any ~~bankruptcy~~ order issued pursuant to any such bankruptcy applications; and
- (c) any ~~further orders~~assignment in bankruptcy made in respect of the ~~Debtor~~Bankrupt;

~~the vesting of the Purchased Assets in the Purchaser pursuant to this Order shall be binding on any trustee in bankruptcy that may be appointed in respect of the Debtor and shall not be void or voidable by creditors of the Debtor~~Bankrupt, nor shall it constitute nor be deemed to be a fraudulent preference, assignment, fraudulent conveyance, transfer at undervalue, or other reviewable transaction under the *Bankruptcy and Insolvency Act* (Canada) or any other applicable federal or provincial legislation, nor shall it constitute oppressive or unfairly prejudicial conduct pursuant to any applicable federal or provincial legislation.

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8. ~~THIS COURT ORDERS AND DECLARES that the Transaction is exempt from the application of the *Bulk Sales Act (Ontario)*.~~

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9. THIS COURT HEREBY REQUESTS the aid and recognition of any court, tribunal, regulatory or administrative body having jurisdiction in Canada or in the United States to give effect to this Order and to assist the ~~Receiver~~ Trustee and its agents in carrying out the terms of this Order. All courts, tribunals, regulatory and administrative bodies are hereby respectfully requested to make such orders and to provide such assistance to the ~~Receiver~~ Trustee, as an officer of this Court, as may be necessary or desirable to give effect to this Order or to assist the Trustee ~~Receiver~~ and its agents in carrying out the terms of this Order.

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9.10. THIS COURT ORDERS that this order is effective from today's date and is enforceable without the need for entry and filing.

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Schedule A – Form of ~~Trustee~~Receiver's Certificate

Court File No. \_\_\_\_\_

ONTARIO  
SUPERIOR COURT OF JUSTICE  
IN BANKRUPTCY AND INSOLVENCY  
COMMERCIAL LIST

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~~BETWEEN:~~

~~PLAINTIFF~~

Plaintiff

~~—and—~~

~~DEFENDANT~~

~~Defendant~~IN THE MATTER OF THE BANKRUPTCY OF  
BRAMALEA INC.  
OF THE CITY OF TORONTO IN THE PROVINCE OF ONTARIO

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~~RECEIVER'S~~TRUSTEE'S CERTIFICATE

RECITALS

A. Pursuant to an Order of the Honourable ~~<\*>~~[NAME OF JUDGE] of the Ontario Superior Court of Justice (the "~~Court~~") dated ~~[DATE OF ORDER]~~June 14, 2022, ~~[NAME OF RECEIVER]~~MNP Ltd. was appointed as the ~~receiver-trustee~~ (the "~~Receiver~~Trustee") of the undertaking, property and assets of ~~[DEBTOR]~~Bramalea Inc. (the "~~Debtor~~Bankrupt").

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B. Pursuant to an Order of the Court dated ~~[DATE]~~June 14, 2022, the Court approved the agreement of purchase and sale made as of ~~[DATE OF AGREEMENT]~~June 6, 2022 (the "~~Sale Agreement~~") between the ~~Receiver~~Trustee and ~~[Debtor]~~ and ~~[NAME OF PURCHASER]~~Joseph Vitale Management Limited (the "~~Purchaser~~") and provided for the vesting in the Purchaser of ~~all of the~~ Trustee~~Debtor's~~ and the Bankrupt's right, title and interest in and to the ~~Purchased Assets~~Lands (as defined in the Sale Agreement), which vesting is to be effective with respect to the ~~Purchased Assets~~Lands upon the delivery by the ~~Receiver~~Trustee to the Purchaser of a certificate confirming (i) the payment by the Purchaser of the Purchase Price for the ~~Purchased~~

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~~Assets~~Lands; (ii) that the conditions to Closing as set out in section ~~in~~~~of~~ the Sale Agreement have been satisfied or waived by the ~~Receiver~~Trustee and the Purchaser; and (iii) the Transaction has been completed to the satisfaction of the ~~Receiver~~Trustee.

C. Unless otherwise indicated herein, terms with initial capitals have the meanings set out in the Sale Agreement.

THE ~~RECEIVER~~TRUSTEE CERTIFIES the following:

1. ~~t~~The Purchaser has paid and the ~~Receiver~~Trustee has received the Purchase Price for the ~~Purchased Assets~~Lands payable on the Closing Date pursuant to the Sale Agreement;
2. ~~t~~The conditions to Closing as set out in ~~section~~~~of~~ the Sale Agreement have been satisfied or waived by the ~~Receiver~~Trustee and the Purchaser; and
3. ~~t~~The Transaction has been completed to the satisfaction of the ~~Receiver~~Trustee.
4. This Certificate was delivered by the ~~Receiver~~Trustee at \_\_\_\_\_ [TIME] on \_\_\_\_\_ [DATE].

MNP Ltd., solely ~~[NAME OF RECEIVER]~~, in its capacity as ~~Receiver~~Trustee of the undertaking, property and assets of ~~[DEBTOR]~~Bramalea Inc., and not in its personal capacity

Per: \_\_\_\_\_

Name:

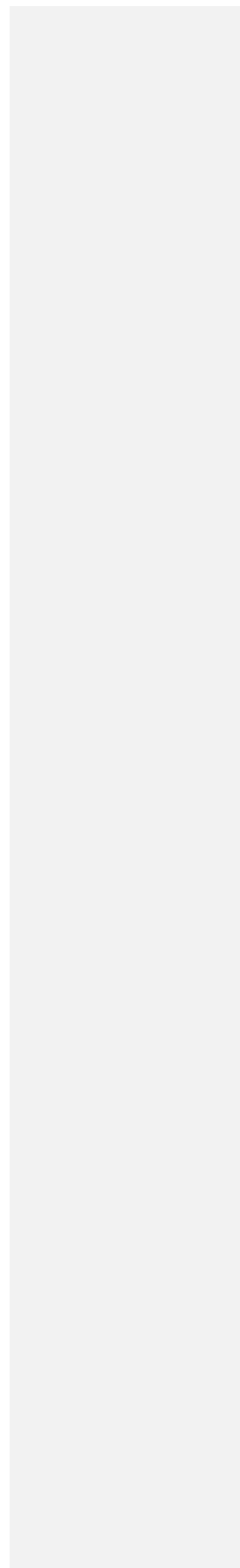
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Schedule B – ~~Purchased Assets~~ Lands

**Schedule C – Claims to be deleted and expunged from title to Real Property**



**Schedule D – Permitted Encumbrances, Easements and Restrictive Covenants  
related to the Real Property**

**(unaffected by the Vesting Order)**

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**ONTARIO  
SUPERIOR COURT OF JUSTICE  
(IN BANKRUPTCY & INSOLVENCY)  
[COMMERCIAL LIST]**

Proceeding commenced at **TORONTO**

**MOTION RECORD OF ITALPASTA LIMITED**  
*(returnable June 14, 2022 at 10:30am via "ZOOM"  
videoconference)*

**LOOPSRA NIXON LLP**

135 Queen's Plate Drive – Suite 600  
Toronto, ON M9W 6V7

**R. Graham Phoenix** (LSO No.: 52650N)

(t) 416 748 4776

(f) 416 746 8319

(e) [gphoenix@loonix.com](mailto:gphoenix@loonix.com)

*Lawyers for Italtasta Limited, 1960526 Ontario  
Inc. and Joseph Vitale Management Limited*